



AGENDA
Dodge County Board of Adjustment
Thursday, December 15, 2022 – 7:00 PM
Administration Building
Room 1H & 1I
127 East Oak Street, Juneau, Wisconsin 53039

The following business will be brought before the Board of Adjustment for initiation, discussion, deliberation, and possible formal action subject to the rules of the Board of Adjustment, which may be inspected in the office of the County Clerk.

1. Call meeting to order;
2. Roll Call and Non-Committee Member County Board Attendance;
3. Confirm compliance with open meeting law and public hearing notice requirements;
4. Approval of the Minutes of the November 10, 2022 meeting;
5. Inform public in attendance of hearing procedures;
6. PUBLIC HEARING – 7:00 P.M.
7. **Linda Ganz** for a variance to the terms of the **Time of Establishment** provisions of the Dodge County Land Use Code to allow the construction of a detached accessory structure (12' x 24' Shed) prior to the establishment of a principle use/structure as required per subsection 6.3.2 of the Dodge County Land Use Code.
The site located on LOT 2 CSM 4420 IN V28 P42 BEING PT NW1/4 SE1/4 SEC 7 Town of Trenton Address known as N8998 STH 33.
A copy of the proposed petition is available for review in the County Land Resources and Parks Department between the hours of 8:00 a.m. and 4:30 p.m., Monday-Friday (920-386-3700).

PUBLIC HEARING – 7:15 P.M.

Leland Construction LLC applicant for **Terrance Carpenter** for a variance to the terms of the **Highway Setback** provisions of the Dodge County Land Use Code as well as the Shoreland **Ordinary High Water Mark setback** provisions, Lateral Expansion of a legal existing nonconforming Principle Structure provisions and the Minimum Lot Size requirement provisions of the Dodge County Shoreland Protection Ordinance, in order to allow the removal of an approximate 15' X 15' one story portion of the home located on the property described above and to replace it with an approximate 19' X 17' two story addition.
The site located on Lot 2 Sinissippi Heights Subdivision located in part of the SW ¼ of the SW ¼, Section 33, Town of Hubbard, the site address being N4999 Lake Drive. A copy of the proposed petition is available for review in the County Land Resources and Parks Department between the hours of 8:00 a.m. and 4:30 p.m., Monday-Friday (920-386-3700).

Future Meeting Schedule

1. Thursday, December 8, 2022 • 9:30 a.m. • 3rd Floor Land Resources and Parks Conference Room
• Administration Building • Juneau, Wisconsin – On Site Inspections
2. Thursday, December 15, 2022 • 7:00 p.m. • 1st Floor, Rooms 1H/1I • Administration Building • Juneau, Wisconsin – Public Hearings

Adjourn

It is possible that individual members of other governing bodies of the County government may attend the above meeting to listen, gather information and comment. Such attendance may constitute a meeting of other governing bodies pursuant to *State ex rel. Badke. v. Vill. Bd. of Vill. Of Greendale*, 173 Wis2d 553, 578-74, 494 N.W. 2d 408 (1993). No action will be taken by any other governmental body except by the governing body noticed in the caption above.

Any person wishing to attend whom, because of a disability, requires special accommodation, should contact the Dodge County Clerk's Office at 920-386-3600, at least 24 hours before the scheduled meeting time so appropriate arrangements can be made. The building entrance, which is accessible by a person with a disability, is located on the east side of the building off Miller Street.

DODGE COUNTY BOARD OF ADJUSTMENT MINUTES
December 8, 2022

The Dodge County Board of Adjustment met on this 8th day of December at 9:30 a.m. in Room 302, Land Resources and Parks Conference Room, on the third floor of the Administration Building, Juneau, Wisconsin.

Chairman William Nass called the meeting of the Dodge County Board of Adjustment to order.

Roll Call was taken.

Members present were as follows: Rodney Justman, William Nass, Jon Schoenike and Sharon Schumann (Alternate 2).

Terry Ochs of the Land Resources and Parks Department was in attendance at the request of the chairman;

Non-Committee Member County Board Attendance: None

Chairman Nass noted that a quorum is present.

The Chairman asked the staff to confirm compliance with the open meeting laws and the public hearing notice requirements. Terry Ochs noted that the meeting was properly noticed in accord with the open meeting law in accord with the statute and code requirements.

The agenda was reviewed by the Board; and noted that by Staff that the Springbrook Estates LLC. has been rescheduled to the January public hearing at the request of the applicant.

Motion by Jon Schoenike to remove Springbrook Estates LLC., and amend the agenda.

Second by Sharon Schumann

Vote: 4-0 Motion carried.

The minutes from the November 10, 2022 meeting were reviewed by the Board.

Motion by Sharon Schumann to approve the minutes as written.

Second by Rodney Justman

Vote: 4-0 Motion carried.

Chairman Nass requested Terry Ochs of the Land Resources & Parks Department to accompany the Board on the following on-site inspections and to attend the Public Hearings on December 15, 2022.

The Board viewed the following sites for facts to be presented at a future public hearing:

1. **Linda Ganz** - The site located on LOT 2 CSM 4420 IN V28 P42 BEING PT NW1/4 SE1/4 SEC 7 Town of Trenton Address known as N8998 STH 33.

2. **Leland Construction LLC** applicant for **Terrance Carpenter** - The site located on Lot 2 Sinissippi Heights Subdivision located in part of the SW ¼ of the SW ¼, Section 33, Town of Hubbard, the site address being N4999 Lake Drive.

Motion by order of the Chair to adjourn the meeting. Motion carried.

Respectfully Submitted,

Jon Schoenike, Secretary

Disclaimer: The above minutes may be approved, amended or corrected at the next committee meeting.

LEGAL NOTICE FOR:

BOARD OF ADJUSTMENT

Hearing No. 2022-0877

Today's Date: November 10, 2022

Send Out By: November 17, 2022

PIN #: 044-1214-0742-002

Publish In: Beaver Dam Daily Citizen
 Watertown Daily Times
 Fond du Lac Reporter

e-mailed to paper on: _____

faxed to paper on: _____

Legal Notices Column Date of: November 23, 2022 and December 1, 2022.

Notice is hereby given that a public hearing will be held by the **Dodge County Board of Adjustment** on Thursday, December 15, 2022 at 7:00 P.M. or shortly thereafter on the First Floor (Meeting Rooms 1H and 1I) of the Dodge County Administration Building, Juneau, Wisconsin on the appeal of **Linda Ganz** for a variance to the terms of the **Time of Establishment** provisions of the Dodge County Land Use Code to allow the construction of a detached accessory structure (12' x 24' Shed) prior to the establishment of a principle use/structure as required per subsection 6.3.2 of the Dodge County Land Use Code.

The site located on LOT 2 CSM 4420 IN V28 P42 BEING PT NW1/4 SE1/4 SEC 7 Town of Trenton Address known as N8998 STH 33. A copy of the proposed petition is available for review in the County Land Resources and Parks Department between the hours of 8:00 a.m. and 4:30 p.m., Monday-Friday (920-386-3700).

All persons interested are invited to attend and be heard. Written comments may be submitted to the Dodge County Land Resources and Parks Department at 127 E Oak Street, Juneau, WI 53039 or by e-mail to tochs@co.dodge.wi.us no later than December 14, 2022.

Dated November 10, 2022

Dodge County Board of Adjustment
By William Nass, Chairman

Notify: Applicant(s)
 Agent for Applicant
 Opposite and Abutting Owners

Land Resources and Parks Department Staff Report

County Variance Application No. 2022-0877
County Land Use Permit Application No. 2022-0876
Filing Date: October 19, 2022
Hearing Date: December 15, 2022

Applicant / Owner:

Linda Ganz
N8998 STH 33
Beaver Dam WI 53916

Location

The appellant is the owner of the following described property which is the subject of the appeal:

PIN# 044-1214-0742-002

Location: LOT 2 CSM 4420 IN V28 P42 BEING PT NW1/4 SE1/4 SEC 7 Town of Trenton Address known as N8998 STH 33.

County Jurisdiction

The County has Zoning Jurisdiction over this site as the Town of Trenton has adopted the County's Land Use Code.

Review Criteria

Subsections 2.3.12.A through 2.3.12.G of the Dodge County Land Use Code details procedural matters and the approval criteria for the variance process. The Board shall hold a public hearing on each variance application, and following the public hearing, act to approve, approve with conditions, or deny the variance based upon the approval criteria of Section 2.3.12.E.

Appellants Request

On October 19, 2022, an application for a County Land Use Permit was made by the appellant in order they be allowed to construct a 12' X 24' shed on the property described above.

This permit was denied by the County Land Use Administrator for the following reasons:

Subsection 6.3.2 states that no accessory use shall be established, and no accessory structures shall be allowed on a subject parcel until all required permits and approvals for the principal use or activity have been obtained and the principal structure is under construction or has been established. As proposed, the shed will be the only structure on this lot, therefore this proposal is not in compliance with this provision of the code.

The appellant is requesting an area variance to Sections 6.3.2 of the Code;

Features

The features of the proposed construction and property that relate to the granting or denial of the appeal are as follows:

The County has Zoning Jurisdiction over this site as the Town of Trenton has adopted the County's Land Use Code. The property is located within the A-2 General Agricultural Zoning District;

The site is currently a vacant lot. The owner's recently purchased the property and removed an older mobile home.

The physical features of this 6.44 acre lot include a rolling topography with slopes ranging from 2 to 6%.

The general character of the surrounding land use is a mixture of residential, and agricultural uses.

Town Recommendation:

As of December 14, 2022 no recommendation on this request has been submitted by the Town.

Purpose Statement

The County's accessory structure provisions of the Code promote a variety of public purposes such as providing for light and air, traffic safety, prevention of overcrowding, solving drainage problems, protecting the appearance and character of the neighborhood, conserving property values and may in particular cases promote a variety of aesthetic and psychological values as well as ecological and environmental interests. The purpose and intent of the accessory structure provision of the Code is to not allow accessory buildings on a lot prior to the principal structures being present or under construction as these type structures tend to become storage areas for uses which are not clearly incidental to the residential use of the property.

Staff Advisory:

This staff advisory is only advice to the Dodge County Board of Adjustment. The Board may or may not consider the advice of the staff and decision making authority is vested in the Board only.

The staff believes that the appellant is requesting an area variance to Sections 6.3.2 of the Code;

The staff points out that the Board does not have summary power to ignore ordinance provisions or objectives. The burden also falls on the appellant to convincingly demonstrate to this Board that a literal enforcement of the Land Use Code regulations would result in an unnecessary hardship, that the hardship is due to special conditions unique to the property and if granted, the variance would not be contrary to the public interest.

The staff notes that the purpose and intent of the accessory structure provisions of the Code is to not allow accessory buildings on a lot prior to the principal structures being present or under construction as these type structures tend to become storage areas for uses which are not clearly incidental to the future residential use of the property.

If the Board can make the findings necessary in order to grant the variance requests, the staff recommends the following conditions:

- This structure shall not be used for human habitation or overnight accommodations;
- This structure shall not be used for any business, trade or industry and shall not be rented out for storage space;

Dodge County Board of Adjustment Decision

County Variance Application No. 2022-0877
County Land Use Permit Application No. 2022-0876
Filing Date: October 19, 2022
Hearing Date: December 15, 2022

Applicant / Owner:
Linda Ganz
N8998 STH 33
Beaver Dam WI 53916

Location

The appellant is the owner of the following described property which is the subject of the appeal:

PIN# 044-1214-0742-002
Location: LOT 2 CSM 4420 IN V28 P42 BEING PT NW1/4 SE1/4 SEC 7 Town of Trenton Address known as N8998 STH 33.

County Jurisdiction

The County has Zoning Jurisdiction over this site as the Town of Trenton has adopted the County's Land Use Code.

Appellants Request

On October 19, 2022, an application for a County Land Use Permit was made by the appellant in order they be allowed to construct a 12' X 24' shed on the property described above.

This permit was denied by the County Land Use Administrator for the following reasons:

Subsection 6.3.2 states that no accessory use shall be established, and no accessory structures shall be allowed on a subject parcel until all required permits and approvals for the principal use or activity have been obtained and the principal structure is under construction or has been established. As proposed, the shed will be the only structure on this lot, therefore this proposal is not in compliance with this provision of the code.

The appellant is requesting an area variance to Sections 6.3.2 of the Code;

CONCLUSIONS OF LAW

Based on the facts presented in the application and at the public hearing the Board concludes that:

The appellants request to Sections 6.3.2 of the Code of the Code is an "area" variance.

(Yes / No) _____

Is there a physical limitation or other reason that is unique to this property that prevents the appellant from complying with the time of establishment provisions of the code?

(Yes / No) _____

Are the time of establishment provisions of the Code unnecessarily burdensome in this case, thereby creating a hardship?

(Yes / No) _____
Explain: _____

What hardship exists if the variances are denied?

Explain _____

Is this project harmful in any way to the public's interests? (Yes/No)

Explain _____

Does the Board have sufficient information to make a decision on this request?

(Yes/No) _____

Does the Board believe that the appellant's variance request meets the criteria that is necessary in order to grant the variance request?

(Yes/No) _____

If the Board can make the findings necessary in order to grant the variance request in this case, are any conditions of approval necessary in this case to mitigate any potential adverse impacts that result from this proposed development project?

- This structure shall not be used for human habitation or overnight accommodations;
- This structure shall not be used for any business, trade or industry and shall not be rented out for storage space;
- Others

Motion by _____ to (approve / deny) the variance requested based upon the previously mentioned findings and conditions.

Motion second _____

Vote

Vacant	<input type="checkbox"/> Yes	<input type="checkbox"/> No	<input type="checkbox"/> Abstain	<input type="checkbox"/> Not Present
Jon Schoenike	<input type="checkbox"/> Yes	<input type="checkbox"/> No	<input type="checkbox"/> Abstain	<input type="checkbox"/> Not Present
Vacant	<input type="checkbox"/> Yes	<input type="checkbox"/> No	<input type="checkbox"/> Abstain	<input type="checkbox"/> Not Present
Rodney Justman	<input type="checkbox"/> Yes	<input type="checkbox"/> No	<input type="checkbox"/> Abstain	<input type="checkbox"/> Not Present
Ed Premo (1 st Alternate)	<input type="checkbox"/> Yes	<input type="checkbox"/> No	<input type="checkbox"/> Abstain	<input type="checkbox"/> Not Present
Sharon Schumann (2 nd Alternate)	<input type="checkbox"/> Yes	<input type="checkbox"/> No	<input type="checkbox"/> Abstain	<input type="checkbox"/> Not Present
William Nass	<input type="checkbox"/> Yes	<input type="checkbox"/> No	<input type="checkbox"/> Abstain	<input type="checkbox"/> Not Present

Motion (Carried / Denied)

ORDER AND DETERMINATION

On the basis of the above findings of fact, conclusions of law and the record in this matter the board

- Granted the variance request as proposed;
- Granted the variance request by the appellant subject to the conditions listed above;
- Denied the variance request as proposed;
- The Land Use Administrator is directed to issue a land use permit incorporating the decision of this Board.

Expiration of Approval Any order issued by the Board requiring a Zoning official to issue a permit shall become void after one year unless the applicant or appellant shall have filed an application for such permit with the Zoning official within such time, provided, that the time may be extended when so specified by the Board.

Revocation. This order may be revoked by the Board after notice and opportunity to be heard for violation of any of the conditions imposed.

Appeals. This decision may be appealed by a person aggrieved by this decision or by any officer, department, board or bureau of the municipality by filing an action in certiorari in the circuit court for this county within 30 days after the date of filing of this decision. The municipality assumes no liability for and makes no warranty as to reliance on this decision if construction is commenced prior to expiration of this 30-day period.

Dodge County Board of Adjustment

Signed _____ Attest _____
Chairperson Secretary

Dated: _____

Filed: _____



Dodge County

Land Resources and Parks Department

127 East Oak Street · Juneau, WI 53039-1329
PHONE: (920) 386-3700 · FAX: (920) 386-3979
EMAIL: landresources@co.dodge.wi.us

November 9, 2022

Linda Ganz
214 Gilmore Ave.
Beaver Dam, WI 53916

RE: Determination of Application Completeness
Variance Application: #2022-0877
Property location: LOT 2 CSM 4420 IN V28 P42 BEING PT NW1/4 SE1/4 SEC 7 Town of
Trenton Address known as N8998 STH 33

Dear Linda Ganz;

The Dodge County Land Resources and Parks Department has received your Variance application to allow the construction of a detached accessory structure (12' x 24' Shed) prior to the establishment of a principle use/structure as required per subsection 6.3.2 of the Dodge County Land Use Code. On November 9, 2022, the Department has determined that your Variance application is complete. This application will be forwarded to the Dodge County Board of Adjustment for review at a public hearing on Thursday, December 15, 2022 at 7:00 PM P.M. or shortly thereafter on the First Floor (Meeting Rooms 1H and 1I) of the Administration Building, Juneau, Wisconsin. You and other interested parties may appear in person or may be represented by an agent or attorney. If you or your agent can not attend the hearing, please contact the Land Resources and Parks Department to discuss your options.

Please Note: The Board of Adjustment members will be conducting an on-site visit on December 8, 2022 to review the site and the proposed construction project. Please make sure that the proposed construction project is staked out so that the Board can review your proposal. Your attendance during the on-site visit is not required.

If you have any questions regarding this matter, please feel free to contact our office.

Sincerely,

Terry R. Ochs
Senior Land Use / Sanitary Specialist
tochs@co.dodge.wi.us
(920) 386-3270
Dodge County
Land Resources and Parks

Notice is hereby given that a public hearing will be held by the **Dodge County Board of Adjustment** on Thursday, December 15, 2022 at 7:00 P.M. or shortly thereafter on the First Floor (Meeting Rooms 1H and 1I) of the Dodge County Administration Building, Juneau, Wisconsin on the appeal of **Linda Ganz** for a variance to the terms of the **Time of Establishment** provisions of the Dodge County Land Use Code to allow the construction of a detached accessory structure (12' x 24' Shed) prior to the establishment of a principle use/structure as required per subsection 6.3.2 of the Dodge County Land Use Code.

The site located on LOT 2 CSM 4420 IN V28 P42 BEING PT NW1/4 SE1/4 SEC 7 Town of Trenton Address known as N8998 STH 33. A copy of the proposed petition is available for review in the County Land Resources and Parks Department between the hours of 8:00 a.m. and 4:30 p.m., Monday-Friday (920-386-3700).

All persons interested are invited to attend and be heard. Written comments may be submitted to the Dodge County Land Resources and Parks Department at 127 E Oak Street, Juneau, WI 53039 or by e-mail to tochs@co.dodge.wi.us no later than December 14, 2022.

Dated November 10, 2022

Dodge County Board of Adjustment
By William Nass, Chairman



**DODGE COUNTY LAND RESOURCES
AND PARKS DEPARTMENT**
127 E. Oak Street • Juneau, WI 53039
PHONE: (920) 386-3700 • FAX: (920) 386-3979
E-MAIL: landresources@co.dodge.wi.us

THIS AREA FOR OFFICE USE ONLY	
Activity No. 220877	Issue Date:
Application Date: 10-19-2022	Receipt #: 5909-0003

Variance Application

Application Fee: \$450 (After the Fact Application Fee: \$900)

Names and Mailing Addresses		Property Description			
Applicant (Agent) LINDA GANZ	Parcel Identification Number (PIN) 044-1214-0742-002	Town TRENTON			
Street Address N8998 HWY 33	City • State • Zip Code BEAVER DAM WI 53916	NW ^{1/4}	SE ^{1/4}	Section 07	T N R E 12 14
Property Owner (If different from applicant) SAME	Subdivision or CSM # LOT 2 - CSM 4420	Site Address N8998 HWY 33			
Street Address	City • State • Zip Code	Is this property connected to public sewer? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No			

Present property use:

AGRICULTURAL

List any prior variances that have been granted or denied for this property:

Describe all nonconforming structures and uses on this property:

Placing a shed on the property without a residential structure.

List the terms of the Land Use Code for which you are requesting a variance (section # and code provision requirements):

G.3.2 TIME OF ESTABLISHMENT

Variance Requested:

allow the structure to be placed on the property

Address the following variance criteria described in the application materials. (Attach additional sheets if necessary):

What unnecessary hardship is present that prohibits your compliance with the terms of the Land Use Code?

What unique features of this property prevent you from complying with the terms of the Land Use Code?

The residential structure was removed because the home was inhabitable.

Will denial of the variance request prevent you from using this property for a permitted purpose or render conformity with the Code unnecessarily burdensome? Why?

yes, because we won't be able to store our equipment to run the farmette, + possibly orchard. The other storage building is in need of being torn down so need replacement.

How would the interest of the public or neighbors be affected by granting or denying this variance?

I would see no effect on the neighbors.

CERTIFICATE

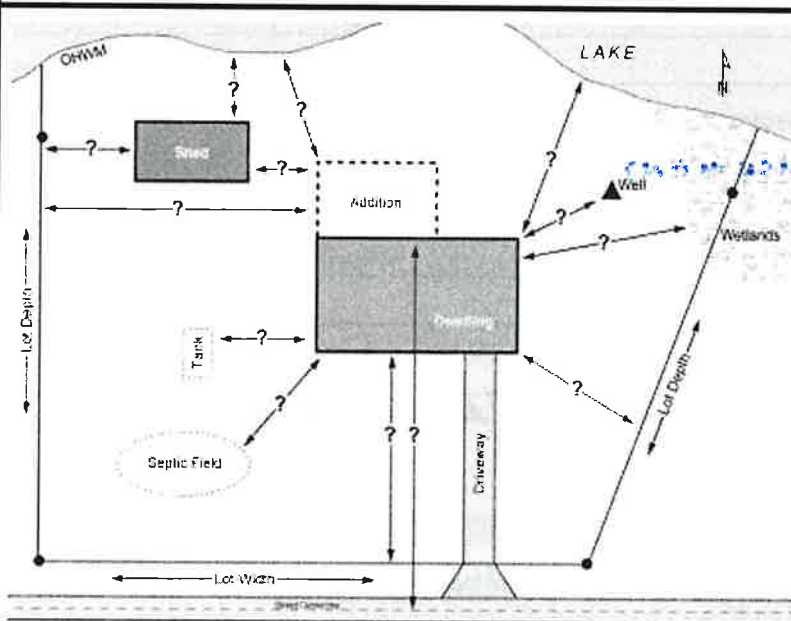
I hereby certify that I am the owner and/or authorized agent of the property owner and that all the above statements and attachments submitted hereto are true and correct to the best of my knowledge and belief and I hereby authorize members of the Dodge County Land Resources and Parks Department and members of the Dodge County Board of Adjustment to enter the above described property for purposes of obtaining information pertinent to my application/appeal/variance request.

Signature of owner or authorized agent: Lynlee Mandy Date: 10-19-22

Daytime Contact Number (920) 382-9575

SITE PLANS AND BUILDING PLANS

All applications must be accompanied by a site plan. Figure 1 below is an example of an acceptable plan.



Site plans must be drawn to scale and/or all dimensions given, such as:

- Location and dimensions of the project
- Location and dimensions of existing structures
- Dimensions of the property
- Location and names of abutting roads, lakes & Streams
- North arrow
- Owner's name

Distances must be shown from the project to:

- Lot lines
- Road right-of-ways & centerline
- Water bodies Ordinary High Water Mark (O.H.W.M.)
- Septic & holding tanks
- Soil absorption systems
- Nearby structures (within 50 feet)



Dodge County Land Resources and Parks Department

127 East Oak Street · Juneau, WI 53039-1329
PHONE: (920) 386-3700 · FAX: (920) 386-3979
EMAIL: landresources@co.dodge.wi.us

November 9, 2022

Linda Ganz
214 Gilmore Ave.
Beaver Dam, WI 53916

Land Use Permit Denial

Site Location: NW 1/4 SE 1/4, Section 7, T12N, R14E,
Township of Trenton, Dodge County, Wisconsin
PIN# 044-1214-0742-002
Site Address: N8998 STH 33
Activity #: 2022-0876

Dear Mrs. Ganz:

Your application for a permit to construct detached accessory structure on the property described above is hereby denied for failure to comply with the following section(s) of the Dodge County Land Use Code:

Subsection 6.3.2 Time of Establishment

States that no accessory use shall be established, and no accessory structures shall be allowed on a subject property until all required permits and approvals for the principal use (Residence) or activity have been obtained and the principal structure (Dwelling) is under construction or has been established.

Therefore, the County is unable to issue a permit for this proposed structure. Please note, you have the right to appeal the decision of the Land Use Administrator to the Board of Adjustment. And on October 19, 2023, a variance application was received and will be forwarded on to the Dodge County Board of Adjustment. If you have any questions and or concerns please feel free to contact our department.

Sincerely,

Terry R. Ochs
Senior Land Use / Sanitary Specialist
tochs@co.dodge.wi.us
Dodge County
Land Resources and Parks

Land Use Permit

Dodge County Land Resources and Parks Department
127 East Oak Street
Juneau, WI 53039-1329
(920) 386-3700 x2 or landresources@co.dodge.wi.us
www.co.dodge.wi.gov

This Area For Office Use Only	
COUNTY ID No. 220876	Receipt No. 5909-0003
	Application Date 10-19-2022
Permit Expiration Date _____	Sanitary Permit _____

PERMIT APPLICATION FEE: \$50 plus \$2 per \$1,000 cost of the project (Payable to: Dodge County) / **CITY OF JUNEAU (\$25 or After the Fact/\$50)** #62
 Note: After the fact (i.e., Applying for permit after construction has already started) application fee: \$100 plus \$4 per \$1,000 cost of project

NAMES & MAILING ADDRESSES	PROPERTY INFORMATION										
Applicant/Agent/Contractor (If Contractor: Please Include State Certification No.)	Parcel Identification Number (PIN) 044-1214-0742-002										
Street Address	Town Trenton T N R E 12 14										
City • State • Zip Code	<table style="width: 100%; border-collapse: collapse;"> <tr> <td style="width: 12.5%; text-align: center;">1/4</td> <td style="width: 12.5%; text-align: center;">1/4</td> <td style="width: 12.5%; text-align: center;">Section</td> <td style="width: 12.5%; text-align: center;">Acreage</td> <td style="width: 12.5%; text-align: center;">Lot (Block)</td> </tr> <tr> <td style="text-align: center; color: red;">NW</td> <td style="text-align: center; color: red;">SE</td> <td style="text-align: center; color: red;">07</td> <td style="text-align: center; color: red;">6.44</td> <td></td> </tr> </table>	1/4	1/4	Section	Acreage	Lot (Block)	NW	SE	07	6.44	
1/4	1/4	Section	Acreage	Lot (Block)							
NW	SE	07	6.44								
Property Owner <input type="checkbox"/> Same as applicant LINDA Gantz	Subdivision or CSM (Volume/Page/Lot) LOT 2 - CSM 4420										
Street Address N8998 HWY 33 214 Gilmore Ave	Address Of Property (DO NOT include City/State/Zip Code) N8998 HWY 33										
City • State • Zip Code Beaver Dam, WI 53916	Is this property connected to public sewer? <input type="checkbox"/> No <input type="checkbox"/> Yes Is property located within a sanitary district/accessible to public sewer? <input type="checkbox"/> No <input type="checkbox"/> Yes										
CURRENT USE OF PROPERTY	PROPOSED USE OF PROPERTY										
<input type="checkbox"/> Vacant Land <input type="checkbox"/> Single-Family Residential <input checked="" type="checkbox"/> Working Farm <input type="checkbox"/> Two-Family <input type="checkbox"/> Multi-Family <input type="checkbox"/> Business • Industrial • Commercial • (Use other below to describe) Other _____	<input checked="" type="checkbox"/> Same As Current Use (No Change) <input type="checkbox"/> Single-Family Residential <input type="checkbox"/> Two-Family <input type="checkbox"/> Multi-Family <input type="checkbox"/> Business • Industrial • Commercial • (Use other below to describe) Other _____										

PROPOSED CONSTRUCTION PROJECT

(CHECK ALL THAT APPLY)
 (Building plans are required for new/replacement Homes)

<input type="checkbox"/> Pool <input type="checkbox"/> Porch <input type="checkbox"/> Driveway <input type="checkbox"/> Deck <input type="checkbox"/> Fence <input type="checkbox"/> Boathouse <input type="checkbox"/> Patio <input type="checkbox"/> Riprap <input type="checkbox"/> Attached Garage <input checked="" type="checkbox"/> Shed <input type="checkbox"/> Gazebo <input type="checkbox"/> Detached Garage <input type="checkbox"/> Home <input type="checkbox"/> Sidewalk <input type="checkbox"/> Ag Ditch Cleanout	<input type="checkbox"/> REPLACEMENT OF EXISTING <input type="checkbox"/> ADDITION TO AN EXISTING <input type="checkbox"/> Field Tile Installation <input type="checkbox"/> Pond (Less than 2 acres in size) <input type="checkbox"/> Sign (Complete additional project information below) <input type="checkbox"/> Barn (Complete additional project information below) <input type="checkbox"/> Home Addition (Complete additional project information below)
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Filling, Grading, Ditching, Dredging, Lagooning, and/or Excavating- Contact this office for assistance with determining type of permit needed

Other _____

Width 12' Length 24' Total Area 288 Total Stories 1 Height (To roof peak) 10'	Additional Project Information <u>Home Addition:</u> Total number of bedrooms? Before _____ After _____ <u>Barn Information:</u> Will it house any animals? If yes, complete Animal Units Worksheet. <u>Sign Information:</u> <input type="checkbox"/> Single-Sided <input type="checkbox"/> Double-Sided <input checked="" type="checkbox"/> Located On-Premise <input type="checkbox"/> Located Off-Premise <input type="checkbox"/> Wall <input type="checkbox"/> Ground <input type="checkbox"/> Directional Other _____ Will it be lighted and/or have moving/flashing parts? <input checked="" type="checkbox"/> No <input type="checkbox"/> Yes
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Estimated Cost (w/Labor) \$ 6,320

◆ ◆ ◆ CLEARLY MARK/FLAG/STAKE-OUT THE CORNERS OF YOUR PROJECT & PROPERTY LINES ◆ ◆ ◆

DNR NOTICE: You are responsible for complying with State and Federal laws concerning construction on or near wetlands, lakes and streams. Wetlands that are not associated with open water can be difficult to identify. Failure to comply may result in removal or modification of construction that violates the law or other penalties or costs. For more information, visit the Department of Natural Resources Wetlands Identification Web Page (www.dnr.state.wi.us) or contact a Department of Natural Resources Service Center.

PAGE 2 — SUPPLEMENTAL INFORMATION AND ADDITIONAL REQUIREMENTS

NOTE: Your County Land Use Permit will be withheld and will not be processed without the completion and submittal of the required worksheet(s) to this office for departmental review and approval. Worksheets can be found at <http://www.co.dodge.wi.gov/government/departments-e-m/land-resources-and-parks/zoning-permits-and-ordinance/land-use-permit>

Is your project located within 1000 feet of a lake, pond or flowage, within 300 feet of the ordinary highwater mark (edge of the water) of a navigable waterway stream or creek or within a wetland or a floodplain? If you are uncertain, please contact this office for assistance.

- YES ⇒ Go to question 1.
 NO ⇒ Go to question 4.

1. Does your project involve construction, reconstruction, expansion, replacement or relocation of any impervious surfaces on your lot (see description below) that are located within 300 feet of the ordinary highwater mark (edge of the water) of a navigable lake, pond, flowage or waterway?

An impervious surface is defined as an area that releases as runoff all or a majority of the precipitation that falls on it. The following "surfaces" are considered "impervious" under this Ordinance: (building) rooftops; concrete/blacktop/gravel driveways and parking surfaces; sidewalks; covered/uncovered decks; patio surfaces constructed with pavers/concrete/blacktop/flagstone; private road surfaces not specifically listed in the Ordinance or any other material and any other surface that is determined by the Land Use Administrator to be impervious. An impervious surface excludes frozen soil, public road surfaces and certain private roads that are specifically listed in the Ordinance.

- YES ⇒ You will need to complete and submit **WORKSHEET NO 1 (IMPERVIOUS SURFACE AREA CALCULATION)** to this office for departmental review and approval. Go to question 2.
 NO ⇒ Go to question 2.

2. Will any part of your project be located less than 35 feet from the ordinary highwater mark (edge of the water) of a navigable lake, pond, flowage or waterway? (NOTE: If your project involves either a boathouse or riprapping — Go to line 3)

- NO ⇒ Go to question 3.
 YES ⇒ Your project **CAN NOT BE APPROVED** as proposed — Contact this office for assistance. Go to question 3.

3. Will any part of your project be located anywhere between 35-75 feet from the ordinary highwater mark (edge of the water) of a navigable lake, pond, flowage or waterway?

- NO ⇒ Go to question 4.
 YES ⇒ You will need to complete and submit **WORKSHEET NO. 2 (MITIGATIONS OPTION CALCULATIONS)** to this office for departmental review and approval. Go to question 4.

4. Does your project involve riprapping?

- NO ⇒ Go to question 5.
 YES ⇒ You will need to complete and submit **WORKSHEET NO 3 (RIPRAP PROJECT SUPPLEMENTAL INFORMATION)** to this office for departmental review and approval. Go to question 5.

5. Does your project involve the installation of field drain tile?

- NO ⇒ Go to question 6.
 YES ⇒ You will need to complete and submit **WORKSHEET NO. 4 (FIELD DRAIN TILE SUPPLEMENTAL INFORMATION)** to this office for departmental review and approval. Go to question 6.

6. Does your project involve cleaning-out, dredging, relocating and/or the construction of an agricultural drainage ditch?

- NO ⇒ Go to question 7.
 YES ⇒ You will need to complete and submit **WORKSHEET NO. 5 (AGRICULTURAL DRAINAGE DITCH SUPPLEMENTAL INFORMATION)** to this office for departmental review and approval. Go to question 8.

7. Does your project involve the filling, grading or disturbing of more than 2000 square feet of land?

- NO ⇒ Go to question 8.
 YES ⇒ You will need to complete and submit **Worksheet No. 6 (Erosion Control Supplemental Information)** to this office for departmental review and approval. Go to question 8.

8. Does your project involve the construction or reconstruction of a pond less than 2 acres in size?

- NO ⇒ Go to question 9.
 YES ⇒ You will need to complete and submit **WORKSHEET NO. 7 (POND CONSTRUCTION SUPPLEMENTAL INFORMATION)** to this office for departmental review and approval. Go to question 9.

9. Does your project involve any filling, grading, dredging, or excavating and/or the construction of a pond ≥ 2 acres within a (mapped) wetland, floodplain and/or navigable waterway?

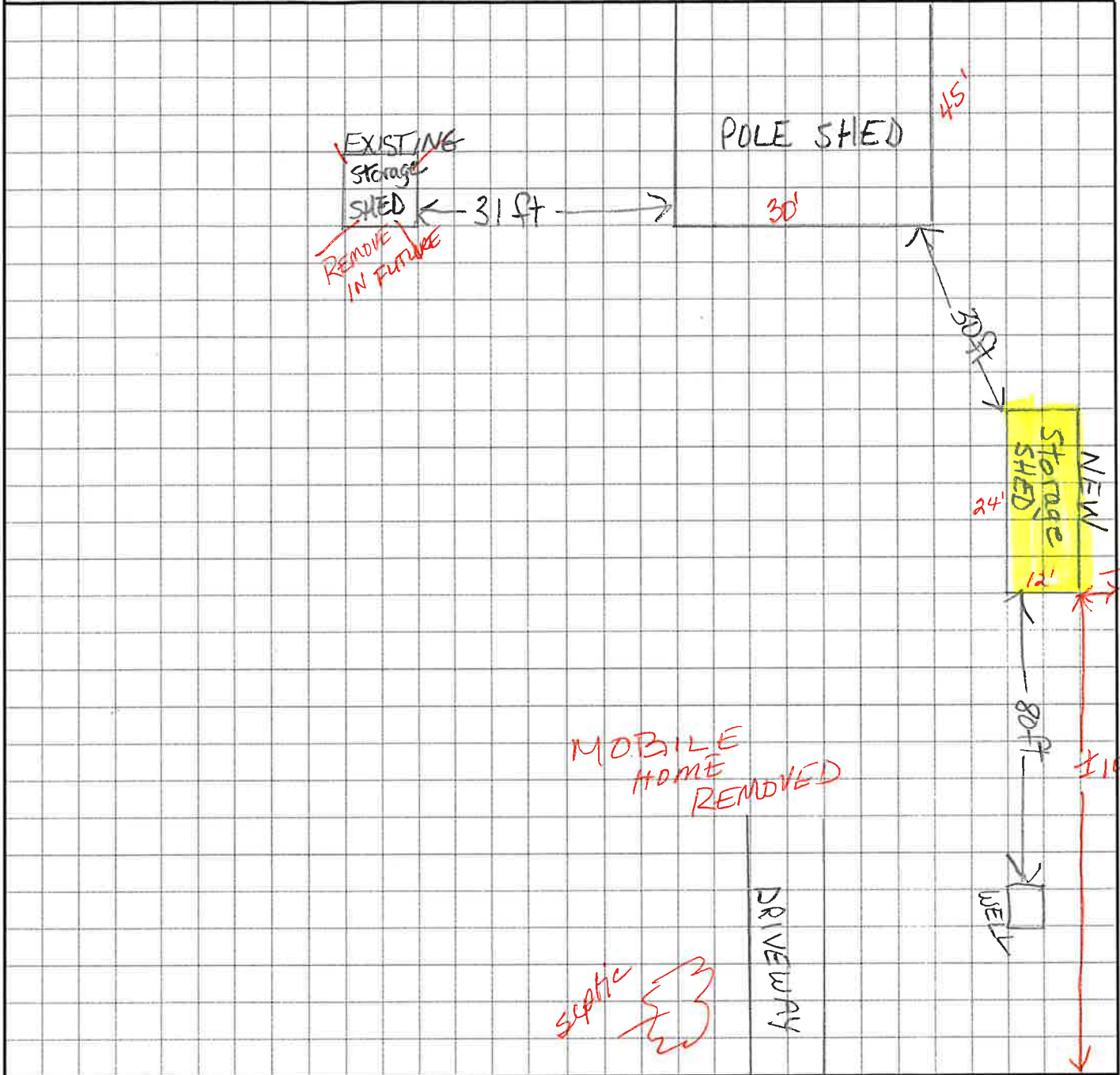
- NO ⇒ Sign and date application below.
 YES ⇒ A County **CONDITIONAL USE PERMIT** (CUP) may [also] be needed. Contact this office for assistance regarding the CUP process. Sign and date application below.

CERTIFICATE & CONTACT INFORMATION

I, the undersigned, hereby apply for a Land Use Permit and certify that all the information both above and attached is true and correct to the best of my knowledge. I affirm that all work performed will be done in accordance with the Dodge County Land Use Ordinance and with all other applicable laws and regulations. I hereby authorize members of the Dodge County Land Resources and Parks Department to enter the above-described property for the purpose of conducting an onsite code inspection(s) and to obtain information pertinent to my application request. Furthermore, I also affirm that I have read and understand the DNR notice regarding construction on or near wetlands, lakes or streams.

Contact Person (Print) _____ Daytime Contact Phone 920-382-9575 or Email: _____
Signature Linda Ganz Date 10-19-22 Call for pickup No Yes

SITE PLAN (SKETCH)



See Attached Site Plan (Sketch)

THIS AREA FOR OFFICE USE ONLY

BOA ID No.	BOA Appeal Date	BOA P/H Date	BOA Decision Date	BOA Decision
				<input type="checkbox"/> Approved <input type="checkbox"/> Approved w/Conditions <input type="checkbox"/> Denied

Notes/Stipulations:
 10/28/22 WOR PERFORMED OK
 NEED VARIANCE NO PRINCIPAL STRUCTURE

<input type="checkbox"/> Approved <input type="checkbox"/> Denied	Land Resources and Parks Department _____	Date _____
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APPLICATION FORM COMPLETION TIPS

Property Identification Number (PIN): The PIN can be found in the upper right-hand corner of the tax bill for the property. Alternatively, the PIN can also be found using the [Land Records Search Tool](#) located on the Dodge County Website (www.co.dodge.wi.us) or by contacting the County Property Description Office (920) 386-3770 (propertydescription@co.dodge.wi.us).

Riprap & Ag Ditch Cleanout Projects: Additional supplemental forms/information may also be required.

Barn Projects: Depending upon the number of animals, an "Animal Units Worksheet" may also be required.

Wireless Communication Facility Category 2 Collocation Projects: – Submit two copies of detailed design specifications of the tower and supporting equipment which includes a side view illustration of the proposed tower showing the overall tower height and the proposed antennae locations.

The Application must be signed and dated to be valid. Application will not be processed without payment of the required fee.

Property Line Location Markers: The property owner is responsible to clearly mark the boundary lines and the boundary corners adjacent to where the proposed construction will take place. Markings shall be clearly visible and accurate prior to, as well as at, the time of inspection. This may be by means of the property owner marking the boundary line(s) and the boundary corner(s) themselves or having the boundary line and boundary corners surveyed and marked by a professional. If the location of the property line(s) marked by the property owner or his/her agent is not consistent with the location of the property line(s) shown on public records of if there is a disagreement by any of the parties involved about the location of the boundary line(s), the Department may require the property line(s) to be surveyed by a registered land surveyor at the owner's expense.

Building Plans: Building plans are a graphical representation of what a building will look like after construction. Building plans shall include all proposed construction including all proposed attachments or extensions from the main structure including decks, platforms, landings, patios, attached garages, porches, lean-to structures and overhangs greater than 2 feet in width, etc.

SITE PLAN (SKETCH) COMPLETION TIPS

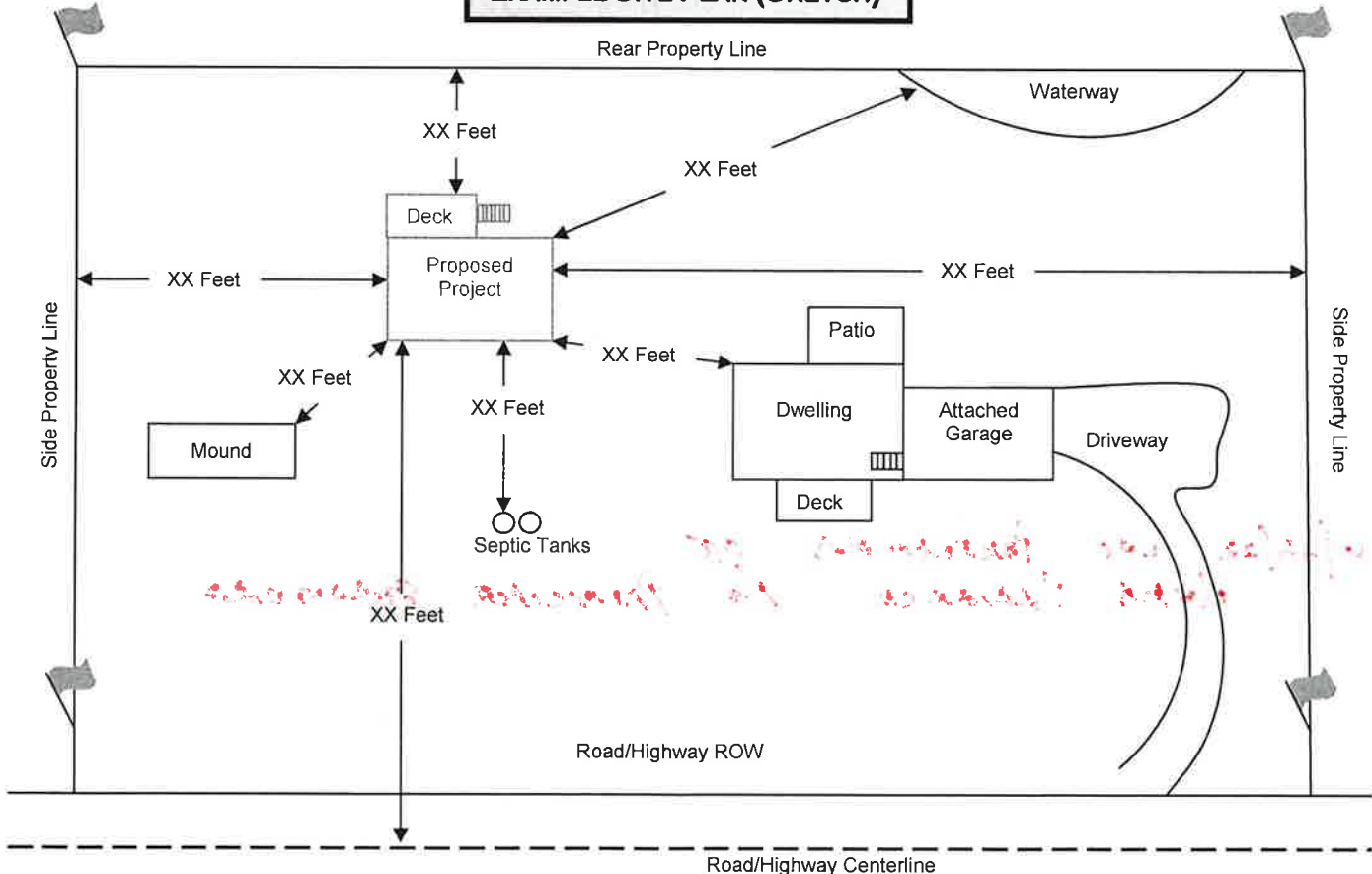
ALL applications must be accompanied by a site plan (sketch). You may use an aerial photo which can be obtained by using the Dodge County Web mapping tool at <http://dodgecowi.wgxtreme.com/>, the attached (blank) site plan or supply your own.

Where applicable, the site plan must show the setback or distance (either scaled or dimensioned) of the proposed project from such items as:

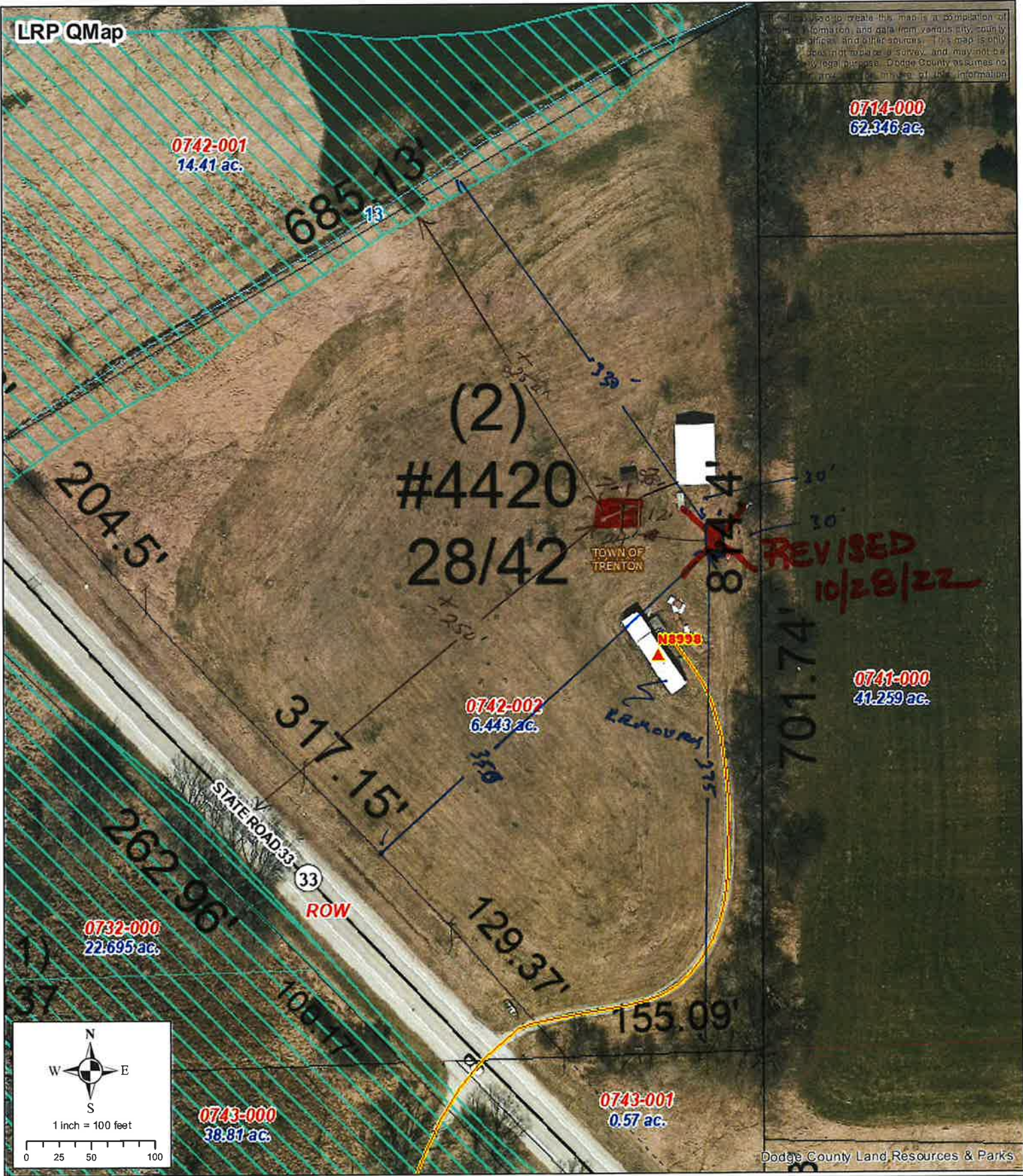
- ✓ Side and Rear Lot/Property Line(s)
- ✓ Abutting Road/Highway Centerline(s)
- ✓ Nearby Lakes and/or Creeks/Streams
- ✓ Nearest Adjacent Structure/Building on Lot
- ✓ Septic/Holding Tank and/or Pump Chamber
- ✓ Septic System Absorption Area (Mound, Trench, Drainline, etc.)

NOTE: Generally, setbacks (distances) greater than 200 feet can be estimated. Missing, ambiguous, imprecise or inaccurate information will result in delay in the review and/or issuance of the permit application.

EXAMPLE SITE PLAN (SKETCH)

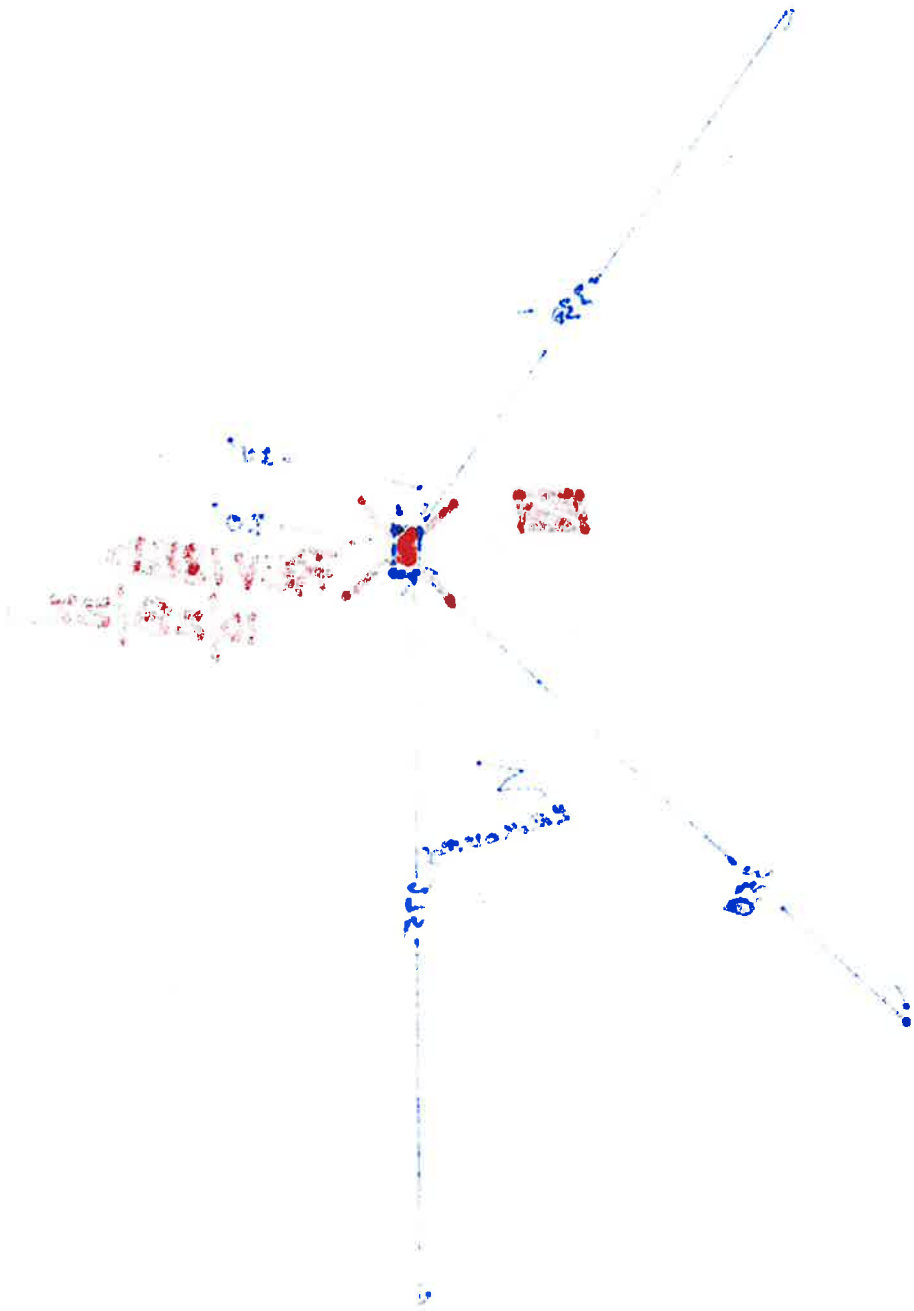


This map was created using a combination of aerial photography, GIS data, and other sources. This map is only for informational purposes and should not be used for legal purposes. Dodge County assumes no liability for any errors or omissions in this information.

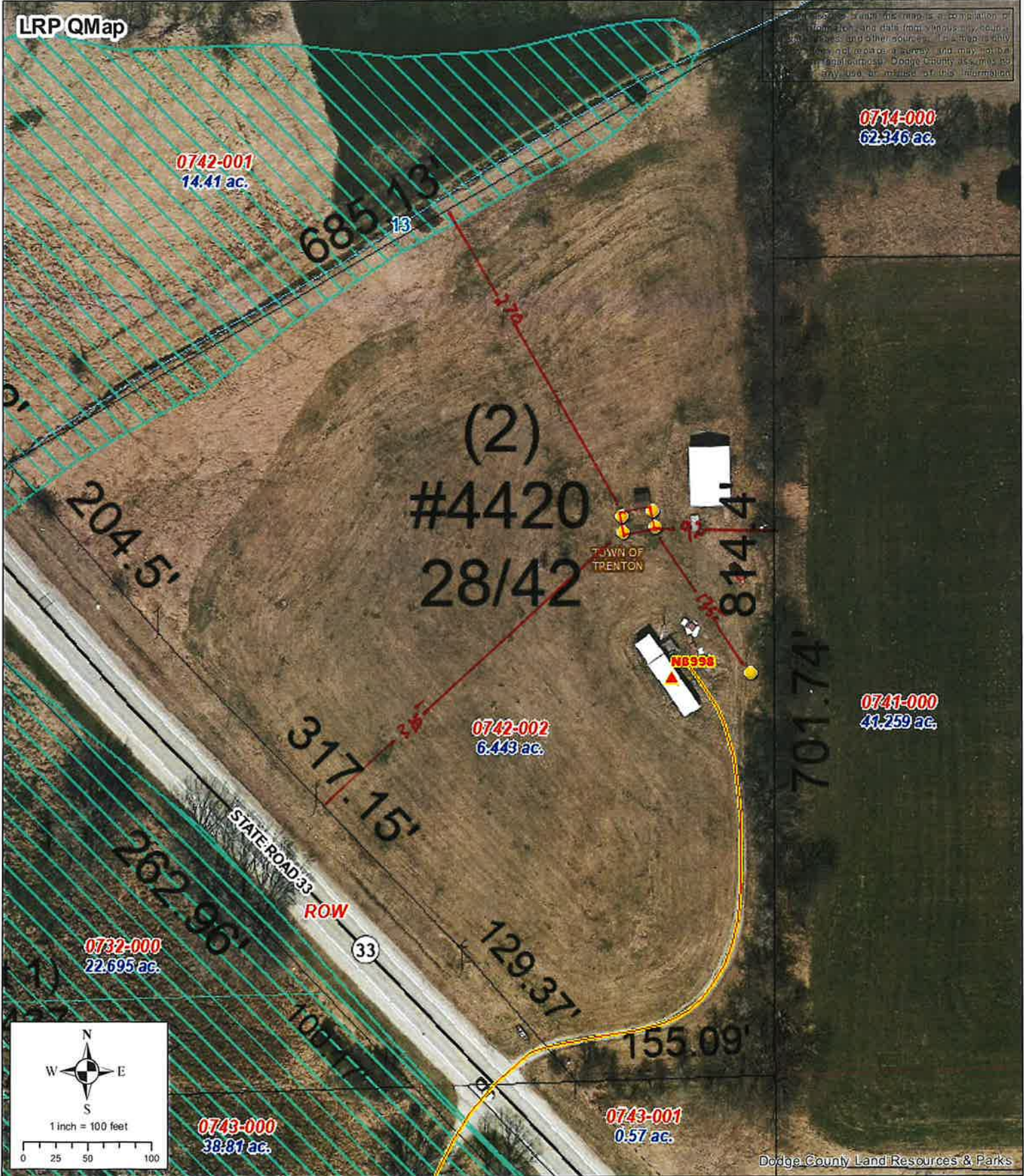


Dodge County Land Resources & Parks

General	WI Historical Society	Floodplain / Wetland	County Zoning
Urbanized Roads	Historic Structures	FEMA Floodplain/Storage/Dam Shadow	Planned Unit Development
Soils	Archaeological Sites	DNR Wetland Areas/Points	Hartford Extraterritorial
Airport Ordinance 3-Mile Buffer	Survey Areas	Shoreland Zoning	General Agricultural
Sewer Service Areas	Non-Metallic Mining	Shoreland Zoning Buffer	Prime Agricultural
Highly Developed Shoreline	Active Mining Area	Lakes/Ponds/Sloughs	One Family Residential
Elevation Contours	Approved Mining Area	Rivers/Streams/Creeks	Two Family Residential
	Mine Property Boundaries		Multi-Family Residential
			General Commercial
			Extensive Commercial
			Light Industrial
			Industrial
			Waterbody
			ROW/City/Village



This map is based on the records, a compilation of information, and data from various city, county, state, and other sources. This map is only a general guide and does not constitute a survey, and may not be used for legal purposes. Dodge County assumes no liability for any use or misuse of this information.



Dodge County Land Resources & Parks

<p>General</p> <ul style="list-style-type: none"> Urbanized Roads Soils Airport Ordinance 3-Mile Buffer Sewer Service Areas Highly Developed Shoreline Elevation Contours 	<p>WI Historical Society</p> <ul style="list-style-type: none"> Historic Structures Archaeological Sites Survey Areas <p>Non-Metallic Mining</p> <ul style="list-style-type: none"> Active Mining Area Approved Mining Area Mine Property Boundaries 	<p>Floodplain / Wetland</p> <ul style="list-style-type: none"> FEMA Floodplain/Storage/Dam Shadow DNR Wetland Areas/Points <p>Shoreland Zoning</p> <ul style="list-style-type: none"> Shoreland Zoning Buffer Lakes/Ponds/Sloughs Rivers/Streams/Creeks 	<p>County Zoning</p> <ul style="list-style-type: none"> Planned Unit Development Hartford Extraterritorial General Agricultural Prime Agricultural One Family Residential Two Family Residential Multi-Family Residential 	<ul style="list-style-type: none"> General Commercial Extensive Commercial Light Industrial Industrial Waterbody ROW/City/Village
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The data used to create this map is a compilation of records, information, and data from various city, county and state offices, and other sources. This map is only advisory, does not replace a survey, and may not be used for any legal purpose. Dodge County assumes no liability for any use or misuse of this information.

Linda Ganz

Town of Trenton, Sec. 7

0713-000
WARMKA
39.1 ac.

0714-000
WARMKA
62.3 ac.

L. GANZ

07 0742-002
GANZ
5.4 ac.

0741-000
LIGHTY
41.5 ac.

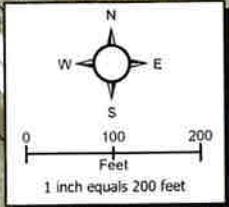
0771-000
SCHAKLES
22

0743-001
WISCONSIN DOT
0.6 ac.

0715-000
CZAJKOWSKI
4 ac.

0144-000
TERRON IRON & METAL LLC
3.4 ac.

33
STATE ROAD 33



LEGAL NOTICE FOR:

BOARD OF ADJUSTMENT

Hearing No. 2022-0911

Today's Date: November 10, 2022

Send Out By: November 11, 2022

PIN #: 022-1116-3333-003

Publish In:

Beaver Dam Daily Citizen
Watertown Daily Times
Fond du Lac Reporter

e-mailed to paper on: _____

faxed to paper on: _____

Legal Notices Column Date of: November 16, 2022 and November 23, 2022.

Notice is hereby given that a public hearing will be held by the **Dodge County Board of Adjustment** on Thursday, December 15, 2022 at 7:15 P.M. or shortly thereafter on the First Floor (Meeting Rooms 1H and 1I) of the Dodge County Administration Building, Juneau, Wisconsin on the appeal of **Leland Construction LLC applicant for Terrance Carpenter** for a variance to the terms of the Highway Setback provisions of the Dodge County Land Use Code as well as the Shoreland Ordinary High Water Mark setback provisions, Lateral Expansion of a legal existing nonconforming Principle Structure provisions and the Minimum Lot Size requirement provisions of the Dodge County Shoreland Protection Ordinance, in order to allow the removal of an approximate 15' X 15' – one story portion of the home located on the property described above and to replace it with an approximate 19' X 17' two story addition.

The site located on Lot 2 Sinissippi Heights Subdivision located in part of the SW ¼ of the SW ¼, Section 33, Town of Hubbard, the site address being N4999 Lake Drive. A copy of the proposed petition is available for review in the County Land Resources and Parks Department between the hours of 8:00 a.m. and 4:30 p.m., Monday-Friday (920-386-3700).

All persons interested are invited to attend and be heard. Written comments may be submitted to the Dodge County Land Resources and Parks Department at 127 E Oak Street, Juneau, WI 53039 or by e-mail to tochs@co.dodge.wi.us no later than December 14, 2022.

Dated November 10, 2022

Dodge County Board of Adjustment
By William Nass, Chairman

Notify:

Applicant(s)
Agent for Applicant
Opposite and Abutting Owners
Wisconsin Department of Natural Resources
Water Reg & Zoning Specialist - Senior
Attn. Dale Rezabek
Wisconsin Department of Natural Resources
Oshkosh Service Center
625 E County Road Y Ste 700
Oshkosh, WI 54901-9731
Office (920) 303-5440
Mobile: (920) 267-1739

Lake Sinissippi Association – P.O. Box 304, Hustisford, WI 53034
Lake Sinissippi Improvement District – P.O. Box 89, Hustisford, WI 53034

Land Resources and Parks Department Staff Report

Draft Copy – Not for release to the public

County Variance Application No. 2022-0911
County Land Use Permit Application No. 2022-0910
Filing Date: November 1, 2022
Hearing Date: December 8, 2022

Applicant (Agent):
Leland Constuction LLC
N4999 Lake Dr.
Hustisford, WI 53034

Owner:
Terrance Carpenter
N4998 Lake Dr.
Hustisford, WI 53034

Location

PIN# 022-1116-3333-003

Location: Lot 2 Sinissippi Heights Subdivision located in part of the SW ¼ of the SW ¼, Section 33, Town of Hubbard, the site address being N4999 Lake Drive.

County Jurisdiction

The County has Shoreland Jurisdiction over this site as the site is located within 1000 feet of the Ordinary High Water Mark of a navigable body of water (Lake Sinissippi). The County also has highway setback jurisdiction over this site as the Town of Hubbard has adopted the Highway Setback Overlay Provisions of the Dodge County Land Use Code.

Appellants Request

On November 1, 2022 an application for a variance request was submitted by the appellant with a request to remove an approximate 15' x 15' - one story portion of the home located on the property described above and to replace it with an approximate 19' x 17' two story addition, where said addition will be located within the required highway setback lines, within the shoreland setback line, will be located on a legal existing substandard lot, and where said project is considered by the County as an expansion of a legally existing, non-conforming structure.

Review Criteria

Subsections 2.3.12.A through 2.3.12.G of the Dodge County Land Use Code and Subsections 14.7(1) through 14.7(7) of the Dodge County Shoreland Protection Ordinance details procedural matters and the approval criteria for the variance process. The Board shall hold a public hearing on each variance application, and following the public hearing, act to approve, approve with conditions, or deny the variance based upon the approval criteria of Section 2.3.12.E of the Land Use Code and Section 14.7(6) of the Shoreland Ordinance.

Features

The features of the proposed construction and property that relate to the granting or denial of the appeal are as follows:

The property is located within 1000 feet of the Ordinary High Water Mark of a navigable body of water (Lake Sinissippi)

The physical features of this approximate 0.109 acre lot include a moderately steep topography with slopes ranging from 12-18% and well drained soils. The parcel contains a residence and a detached shed;

The general character of the surrounding land use consists of residential properties along the shoreline of Lake Sinissippi. The property is served by public sewer.

The property includes the following a nonconforming structure / structures / use / lot:

- The existing residence is located within the water setback and highway setback lines.
- The existing detached shed is located within the highway setback lines.
- The existing lot is a legal existing substandard lot that does not meet the minimum lot width or area requirements of the Shoreland Ordinance

On November 1, 2022 an application for a County Land Use Permit was made by the appellant in order they be allowed to remove an approximate 15' x 15' one story portion of the home and replace it with an approximate 19' x 17' two story addition.;

This permit was denied by the County Land Use Administrator for the following reason:

Highway Setback Overlay Provisions of the Land Use Code:

Subsection 4.6.4.A and Table 5.1-1 of the Land Use Code refer to the required setbacks from public roads, streets and highways, within the Highway Setback Overlay District. According to County Records, Lake Drive is designated as an urbanized road and the required setback is 60 feet from the centerline or 27 feet from the road right-of-way, whichever distance is greater. In addition, according to County records, the road right-of-way for Lake Drive extends along the north and east sides of this lot. As proposed, the replacement addition will be located approximately 10 1/2' from the centerline of the right-of-way area that is located along the north side of the lot or 49 1/2' within the required highway setback line, therefore not in compliance the highway setback provisions of the Code. The proposed replacement addition is located in compliance with the required highway setback line along the east side of the lot.

Shoreland Ordinance Provisions:

Section 6.1 of the Shoreland Protection Ordinance refers to the shoreland setback distances that all structures are to be set back from the ordinary high water mark (OHWM) of a Navigable Body of water. According to this provision, unless exempt under 6.1, or reduced under 6.2, a setback of 75 feet from the OHWM of any navigable waters to the nearest part of a building or structure shall be required for all buildings and structures.

According to Section 6.2 of the Ordinance, this lot qualifies for a reduced water setback of 66.75' from the OHWM. As proposed, the replacement addition will be located approximately 30 feet from the OHWM of Lake Sinissippi or 36.75' feet within the minimum required reduced water setback and therefore prohibited by the Ordinance.

Section 11.3 of the Shoreland Protection Ordinance refers to lateral expansion of a nonconforming principal structure within the setback. According to County records, the residence is considered a legal existing, nonconforming structure as the residence is located within the required setback line from the OHWM and said residence was in existence prior to the adoption of the Shoreland Ordinance.

In accord with Section 11.3 of the Ordinance, an existing principal structure that was lawfully placed when constructed but that does not comply with the required building setback required under Section 6.1 may be expanded laterally, provided that all of the following requirements are met:

- (1) The use of the structure has not been discontinued for a period of 12 months or more if a nonconforming use.
- (2) The existing principal structure is at least 35 feet from the ordinary high-water mark.
- (3) Lateral expansions are limited to a maximum of 200 square feet over the life of the structure. No portion of the expansion may be any closer to the ordinary high-water mark than the closest point of the existing principal structure.
- (4) The County shall issue a permit that requires a mitigation plan that shall be approved by the County and implemented by the property owner by the date specified in the permit. The mitigation plan shall meet the standards found in Section 13.0.
- (5) All other provisions of the shoreland ordinance shall be met.

As proposed the replacement addition does not satisfy the requirements of Section 11.3(2) and Section 11.3 (3) as the existing principle structure is located approximately 14' from the OHWM of Lake Sinissippi and the proposed 19' X17' addition will exceed the maximum 200 square feet area requirement by 123 sq. feet and therefore is prohibited by the Ordinance.

According to Section 5.1(2) of the Shoreland Ordinance, legal lots of record or parcels of land which do not meet the minimum lot area and lot width requirements stated in Sections 5.2, 5.3, 5.4 shall not qualify for a Land Use Permit under this Ordinance to allow the construction of a structure or building on the legal lot of record or parcel of land.

According to Section 5.2 of the Shoreland Ordinance, the minimum lot area for lots served by public sewer shall be 10,000 square feet excluding street right-of-ways and land under the beds of navigable waters and the minimum lot width shall be 65 feet at the building setback line and 65 feet at the OHWM. According to County records, the lot width of this lot is 50' wide at the building setback and at the OHWM. In addition, the lot contains approximately 4792 square feet in area. Therefore, the County considers this lot as a legal existing substandard lot of record because it does not meet the minimum lot width and area requirements of the Ordinance and the lot was created prior to the adoption of the lot size standards.

In accord with Section 5.4(3) of the Shoreland Ordinance, a legally created lot that met minimum area and minimum average width requirements when created, but does not meet current lot size requirements, may be used as a building site if all of the following apply:

- (3) The substandard lot is developed to comply with all other ordinance requirements.

As proposed, the addition does not comply with the water setback and non-conforming structure requirements of the Ordinance and therefore is prohibited by Section 5.4(3) of the Ordinance.

Purpose Statement

The highway setback provisions of the County Land Use Code promote a variety of public purposes such as providing for light and air, fire protection, traffic safety, prevention of overcrowding, solving drainage problems, protecting the appearance and character of the neighborhood and for conserving property values. The highway setback provisions also provide for a uniform setback for all structures along all roads within the County in order to provide safe visibility while entering or exiting a site and to save tax payers of Dodge County from having to purchase non-conforming structures located within the highway setback lines, when those structures need to be removed for highway improvement or relocation projects.

The purpose of the Shoreland Overlay District provisions are to enforce a uniform setback that preserves the public interest in shorelands and navigable waters of the State as well as to protect the navigable waters and the public's right therein from degradation and deterioration which results from uncontrolled use and development of the shorelands. The purpose and intent of the reduced principal structure setback provision of the Ordinance is to allow setback averaging in those shoreland areas where narrow lots are prevalent and where a development pattern exists where principal structures that were constructed prior to the adoption of the current Shoreland Protection Ordinance are located closer than 75 feet to the ordinary highwater mark of the navigable water body.

The purpose and intent of the non-conforming structure and use provisions of the Code is generally to allow uses, structures, and lots that came into existence legally in conformance with then-applicable requirements to continue to exist and be put to productive use, but to bring as many aspects of such situations into compliance with existing regulations as is reasonably possible. The regulations are intended to recognize the interests of property owners in continuing to use their property, promote reuse and rehabilitation of existing buildings and to place reasonable limits on the expansion and alteration of nonconformities that have the potential to adversely affect surrounding properties or the community as a whole.

Town Recommendation:	Approve <input type="checkbox"/>	Deny <input type="checkbox"/>	No recommendation submitted <input type="checkbox"/>
DNR Recommendation:	Approve <input type="checkbox"/>	Deny <input type="checkbox"/>	No recommendation submitted <input type="checkbox"/>
ARMY CORP Recommendation:	Approve <input type="checkbox"/>	Deny <input type="checkbox"/>	No recommendation submitted <input type="checkbox"/>

Staff Advisory:

This staff advisory is only advice to the Dodge County Board of Adjustment. The Board may or may not consider the advice of the staff and decision making authority is vested in the Board only.

It is the staff's position that the appellant is requesting an area variance to Section 4.6.4.A and Table 5.1-1 of the highway setback provisions of the Dodge County Land Use Code and to Section 5.2, 5.4(3), 6.2, and 11.3 of the Shoreland Protection Ordinance.

Variance request to the Highway Setback Provisions of the Land Use Code:

The staff points out that the Board does not have summary power to ignore code provisions or objectives. The burden also falls on the appellant to convincingly demonstrate to this Board that a literal enforcement of the Land Use Code regulations would result in an unnecessary hardship, that the hardship is due to special conditions that are unique to the property and if granted, the variance would not be contrary to the public interest.

The staff points out that enforcement of the highway setback provisions at this location would leave no buildable area on this lot which may be considered an unnecessary hardship for the owner of this property. The staff also notes that the road right-of-way along the north side of the lot is very steep and appears to be used by the town for stormwater runoff purposes rather than as a road. It would appear unlikely that this road right-of-way would or could be converted into a road in the future. The staff notes that the proposed residence meets the required setback from Lake Drive along the east side of the lot and does not block the view of vehicles entering or exiting the adjacent property and the variance to the highway setback provisions of the Code would not be contrary to the public interest.

However, the staff also notes that Section 10.3.2.B.1 of the Land Use Code allows rebuilding, repair or remodeling of a legal existing nonconforming structure provided the rebuilt, remodeled or repaired structure is confined to the existing three dimensional footprint of the legal existing nonconforming structure. It is the staff's position that the appellant may have a reasonable option to replace the addition with a new addition if the addition is located within the same 3 dimensional footprint.

Variance request to the Shoreland Protection Ordinance:

Water Setback Provisions

The staff points out that the Board does not have summary power to ignore the water setback provisions of the code and the Board can only grant a variance if the request meets the approval criteria listed in Section 14.7(6) of the Code. The staff also points out that the burden falls on the appellant to convincingly demonstrate to this Board that a literal enforcement of the Shoreland Ordinance regulations would result in an unnecessary hardship, that the hardship is due to special conditions that are unique to the property rather than considerations personal to the property owner, that the unnecessary hardship was not created by the property owner and if granted, that the variance would not be contrary to the public interest.

The staff notes that the proposed addition does not comply with the reduced water setback (Sec 6.2) or the lateral expansion provisions (11.3) of the Shoreland Ordinance as the existing structure is located within located 16' from the OHWM and the addition will be located within 30' of the OHWM of the lake. The staff also points out that the nonconforming structure provisions of Section 11.2 of the Shoreland Protection ordinance allows for the replacement of a nonconforming principal structure that was lawfully placed when constructed but that does not comply with the required water setback provided the replacement structure does not expand the footprint of the nonconforming structure. In addition, the staff notes that under this provision, an existing structure that was lawfully placed when constructed but that does not comply with the required shoreland setback may be vertically expanded to a maximum height of 35 feet above grade level.

It is the staff's position that the appellant has reasonable options available to substantially comply with the non-conforming structure provisions of Section 11.2 of the Shoreland Protection Ordinance by designing a multi-level residence that does not exceed the footprint area of the existing residence and that complies with the maximum height requirements of the Ordinance and therefore, no hardship would exist.

Non-Conforming Lot Provisions

The staff points out that according to Section 5.1(2) of the Shoreland Ordinance, legal lots of record or parcels of land which do not meet the minimum lot area and lot width requirements stated in Sections 5.2, 5.3, 5.4 shall not qualify for a Land Use Permit under this Ordinance to allow the construction of a structure or building on the legal lot of record or parcel of land. In this case, the steep topography and the long narrow shape of this lot will limit the options that will be available to construct an addition to the dwelling on this lot in compliance with the substandard lot provisions of the code which could be considered a hardship.

It is the staff's position that the Board will be unable to make all of the findings necessary in order to grant a variance in this case. It is also the staff's position that the appellant has reasonable options available substantially comply with the non-conforming structure provisions of Section 11.2 of the Shoreland Protection Ordinance by designing a multi-level residence that does not exceed the footprint area of the existing residence and that complies with the maximum height requirements of the Ordinance and therefore, no hardship would exist. The staff therefore recommends denial of the variance requests as proposed.

Dodge County Board of Adjustment Decision

Water setback provisions of the Shoreland Protection Ordinance

County Variance Application No. 2022-0911
County Land Use Permit Application No. 2022-0910
Filing Date: November 1, 2022
Hearing Date: December 15, 2022

Applicant (Agent):
Leland Construction LLC
N4999 Lake Dr.
Hustisford, WI 53034

Owner:
Terrance Carpenter
N4998 Lake Dr.
Hustisford, WI 53034

Location

PIN#: 022-1116-3333-003
Property Location: Lot 2 Sinissippi Heights Subdivision located in part of the SW ¼ of the SW ¼, Section 33, Town of Hubbard, the site address being N4999 Lake Drive.

Appellants Request

An application for a variance request was submitted by the appellant with a request to the terms of the Highway Setback provisions of the Dodge County Land Use Code as well as the Shoreland Ordinary High Water Mark setback provisions, Lateral Expansion of a legal existing nonconforming Principle Structure provisions and the Minimum Lot Size requirement provisions of the Dodge County Shoreland Protection Ordinance, to allow the removal of an approximate 15' X 15' – one story portion of the home located on the property described above and to replace it with an approximate 19' X 17' two story addition.

CONCLUSIONS OF LAW

Based on the facts presented in the application and at the public hearing the Board concludes that:

Dodge County Shoreland Protection Setbacks

The appellants request to Shoreland Protection Ordinance Subsection 6.1, 6.2 and 11.3 of the Ordinance is an "area" variance.

(Yes / No) _____

1) **Is there a physical limitation that is unique to this property that prevents the appellant from complying with the water setback provisions of the code?**

(Yes / No)

Explain _____

2) **Are the water setback provisions of the Shoreland Ordinance unnecessarily burdensome in this case, thereby creating a hardship?**

(Yes / No)

Explain _____

Does the appellant have other options available to construct this dwelling remodel and expansion on this lot in compliance with the water setback lines?

(Yes / No)

Explain _____

Does the Board believe that a dwelling remodel and expansion is necessary for the preservation of the owner's property rights?

(Yes / No)

Explain _____

What hardship exists if the variance is denied?

Explain _____

3) **Is this project harmful in any way to the public's interests? (Yes/No)**

Explain _____

4) **If the Board can make the findings necessary in order to grant the variance request in this case, are any conditions of approval necessary in this case to mitigate any potential adverse impacts that result from this proposed development project?**

- A mitigation plan in accord with Section 13.0 of the Shoreland Protection Ordinance to restore a native primary vegetative buffer area to county vegetative buffer standards along the shoreline on the north side of the dwelling remodel and expansion shall be submitted to the Department for review and approval.
- The dwelling shall utilize exterior natural or earth tone colors excluding trim.
- An implementation schedule and enforceable obligation instrument for the mitigation plan shall be recorded in the office of the Register of Deeds prior to issuance of the Land Use Permit.
- Project review by the Wisconsin Historical Society
- Others

5) **Does the Board have sufficient information to make a decision on this request?**

(Yes/No)

6) **Does the Board believe that the variance request meets all of the criteria in Section 14.7.6 of the County Shoreland Protection Ordinance?**

Section 14.7(6) Approval criteria

1. That literal enforcement of the provisions of the ordinance will result in an unnecessary hardship on the applicant,
2. That the hardship is due to special conditions that are unique to the property, and
3. That the variance is not contrary to the public interest.

(Yes/No)

Motion by _____ to (approve / deny) the variance requested based upon the previously mentioned findings and conditions.

Motion second _____

Vote

Vacant	<input type="checkbox"/> Yes	<input type="checkbox"/> No	<input type="checkbox"/> Abstain	<input type="checkbox"/> Not Present
Jon Schoenike	<input type="checkbox"/> Yes	<input type="checkbox"/> No	<input type="checkbox"/> Abstain	<input type="checkbox"/> Not Present
Vacant	<input type="checkbox"/> Yes	<input type="checkbox"/> No	<input type="checkbox"/> Abstain	<input type="checkbox"/> Not Present
Rodney Justman	<input type="checkbox"/> Yes	<input type="checkbox"/> No	<input type="checkbox"/> Abstain	<input type="checkbox"/> Not Present
Ed Premo (1 st Alternate)	<input type="checkbox"/> Yes	<input type="checkbox"/> No	<input type="checkbox"/> Abstain	<input type="checkbox"/> Not Present
Sharon Schumann (2 nd Alternate)	<input type="checkbox"/> Yes	<input type="checkbox"/> No	<input type="checkbox"/> Abstain	<input type="checkbox"/> Not Present
William Nass	<input type="checkbox"/> Yes	<input type="checkbox"/> No	<input type="checkbox"/> Abstain	<input type="checkbox"/> Not Present

Motion (Carried / Denied)

Dodge County Shoreland Protection Ordinance Lot Size

The appellants request to Subsection 5.0 Minimum Lot Size of the Code is an "area" variance.
(Yes / No) _____

1) **Is there a physical limitation that is unique to this property that prevents the appellant from complying with the lot area provisions of the code?**

(Yes/No)

Explain _____

2) **Is the Code unnecessarily burdensome in this case, thereby creating a hardship?**

(Yes/No)

Explain _____

Will compliance with the lot area provisions of the Code unreasonably prevent the owner from using the property for a permitted purpose or render conformity with such restrictions unnecessarily burdensome?

(Yes / No)

Explain _____

Does the appellant have other options available to create a lot that complies with the lot area requirements of the Code?

(Yes / No)

Explain _____

What hardship exists if the variance is denied?

Explain _____

3) **Is this project harmful in any way to the public's interests? (Yes/No)**

Explain

4) **Does the Board have sufficient information to make a decision on this request?**

(Yes/No)

5) **Does the Board believe that the variance request meets all of the criteria in Section 14.7.6 of the County Shoreland Protection Ordinance?**

Section 14.7(6) Approval criteria

- 4. That literal enforcement of the provisions of the ordinance will result in an unnecessary hardship on the applicant,
- 5. That the hardship is due to special conditions that are unique to the property, and
- 6. That the variance is not contrary to the public interest.

(Yes/No)

Motion by _____ to (approve / deny) the variance requested based upon the previously mentioned findings and conditions.

Motion second _____

Vote

Vacant	<input type="checkbox"/> Yes	<input type="checkbox"/> No	<input type="checkbox"/> Abstain	<input type="checkbox"/> Not Present
Jon Schoenike	<input type="checkbox"/> Yes	<input type="checkbox"/> No	<input type="checkbox"/> Abstain	<input type="checkbox"/> Not Present
Vacant	<input type="checkbox"/> Yes	<input type="checkbox"/> No	<input type="checkbox"/> Abstain	<input type="checkbox"/> Not Present
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Sharon Schumann (2 nd Alternate)	<input type="checkbox"/> Yes	<input type="checkbox"/> No	<input type="checkbox"/> Abstain	<input type="checkbox"/> Not Present
William Nass	<input type="checkbox"/> Yes	<input type="checkbox"/> No	<input type="checkbox"/> Abstain	<input type="checkbox"/> Not Present

Motion (Carried / Denied)

Dodge County Land Use Code Highway Setbacks

The appellants request to Subsections 5.1.1, 10.3.1 and Table 5.1-1 of the Code are "area" variances.

(Yes / No) _____

Is there a physical limitation that is unique to this property that prevents the appellant from complying with the highway setback and non-conforming structure provisions of the code?

(Yes / No) _____

Are the highway setback and non-conforming structure provisions of the Code unnecessarily burdensome in this case, thereby creating a hardship?

(Yes / No) _____
Explain: _____

Does the appellant have other options available to construct a home addition on this lot in compliance with the Highway Setback and Nonconforming Structure provisions of the Code?

(Yes / No) _____
Explain _____

What hardship exists if the variance is denied?

Explain _____

Is this project harmful in any way to the public's interests? (Yes/No)

Explain _____

Does the Board have sufficient information to make a decision on this request?

(Yes/No)

Does the Board believe that the appellant's variance request meets the criteria that is necessary in order to grant the variance requests?

(Yes/No)

If the Board can make the findings necessary in order to grant the variance request in this case, are any conditions of approval necessary in this case to mitigate any potential adverse impacts that result from this proposed development project?

- A variance agreement shall be required to be recorded with the Register of Deeds Office in the amount of the proposed construction project prior to the approval of the land use permit.
-
- Others

Motion by _____ to (approve / deny) the variance to the highway setback and nonconforming structure requirements of the code based upon the previously mentioned findings and conditions.

Motion second _____

Vote

Vacant	<input type="checkbox"/> Yes	<input type="checkbox"/> No	<input type="checkbox"/> Abstain	<input type="checkbox"/> Not Present
Jon Schoenike	<input type="checkbox"/> Yes	<input type="checkbox"/> No	<input type="checkbox"/> Abstain	<input type="checkbox"/> Not Present
Vacant	<input type="checkbox"/> Yes	<input type="checkbox"/> No	<input type="checkbox"/> Abstain	<input type="checkbox"/> Not Present
Rodney Justman	<input type="checkbox"/> Yes	<input type="checkbox"/> No	<input type="checkbox"/> Abstain	<input type="checkbox"/> Not Present
Ed Premo (1 st Alternate)	<input type="checkbox"/> Yes	<input type="checkbox"/> No	<input type="checkbox"/> Abstain	<input type="checkbox"/> Not Present
Sharon Schumann (2 nd Alternate)	<input type="checkbox"/> Yes	<input type="checkbox"/> No	<input type="checkbox"/> Abstain	<input type="checkbox"/> Not Present
William Nass	<input type="checkbox"/> Yes	<input type="checkbox"/> No	<input type="checkbox"/> Abstain	<input type="checkbox"/> Not Present

Motion (Carried / Denied)

ORDER AND DETERMINATION

On the basis of the above findings of fact, conclusions of law and the record in this matter the board

- Granted the variance request as proposed;
- Granted the variance request by the appellant subject to the conditions listed above;

- Denied the variance request as proposed;
- The Land Use Administrator is directed to issue a land use permit incorporating the decision of this Board.

Expiration of Approval. Any order issued by the Board requiring a Zoning official to issue a permit shall become void after one year unless the applicant or appellant shall have filed an application for such permit with the Zoning official within such time, provided, that the time may be extended when so specified by the Board.

Revocation. This order may be revoked by the Board after notice and opportunity to be heard for violation of any of the conditions imposed.

Appeals. This decision may be appealed by a person aggrieved by this decision or by any officer, department, board or bureau of the municipality by filing an action in certiorari in the circuit court for this county within 30 days after the date of filing of this decision. The municipality assumes no liability for and makes no warranty as to reliance on this decision if construction is commenced prior to expiration of this 30-day period.

Dodge County Board of Adjustment

Signed _____ Attest _____
Chairperson Secretary

Dated: _____

Filed: _____



Dodge County

Land Resources and Parks Department

127 East Oak Street · Juneau, WI 53039-1329
PHONE: (920) 386-3700 · FAX: (920) 386-3979
EMAIL: landresources@co.dodge.wi.us

November 10, 2022

Applicant (Agent):

Leland Construction LLC
N4999 Lake Dr.
Hustisford, WI 53034

Owner:

Terrance Carpenter
N4998 Lake Dr.
Hustisford, WI 53034

RE: Determination of Application Completeness

Variance Application: #2022-0911

Property location: Lot 2 Sinissippi Heights Subdivision located in part of the SW ¼ of the SW ¼, Section 33, Town of Hubbard, the site address being N4999 Lake Drive.

Dear Leland Construction LLC;

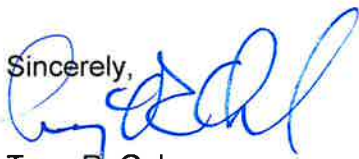
The Dodge County Land Resources and Parks Department has received your Variance application to allow the removal of an approximate 15' X 15' – one story portion of the home located on the property described above and to replace it with an approximate 19' X 17' two story addition. Where said addition does not comply with terms of the Highway Setback provisions of the Dodge County Land Use Code as well as the Shoreland Ordinary High Water Mark setback provisions, Lateral Expansion of a legal existing nonconforming Principle Structure provisions and the Minimum Lot Size requirement provisions of the Dodge County Shoreland Protection Ordinance.

On November 10, 2022, the Department has determined that your Variance application is complete. This application will be forwarded to the Dodge County Board of Adjustment for review at a public hearing on Thursday, December 15, 2022 at 7:15 P.M. or shortly thereafter on the First Floor (Meeting Rooms 1H and 1I) of the Administration Building, Juneau, Wisconsin. You and other interested parties may appear in person or may be represented by an agent or attorney. If you or your agent can not attend the hearing, please contact the Land Resources and Parks Department to discuss your options.

Please Note: The Board of Adjustment members will be conducting an on-site visit on December 1, 2022 to review the site and the proposed construction project. Please make sure that the proposed construction project is staked out so that the Board can review your proposal. Your attendance during the on-site visit is not required.

If you have any questions regarding this matter, please feel free to contact our office.

Sincerely,



Terry R. Ochs
Senior Land Use / Sanitary Specialist
tochs@co.dodge.wi.us
(920) 386-3270
Dodge County
Land Resources and Parks

>

Notice is hereby given that a public hearing will be held by the **Dodge County Board of Adjustment** on Thursday, December 15, 2022 at 7:15 P.M. or shortly thereafter on the First Floor (Meeting Rooms 1H and 1I) of the Dodge County Administration Building, Juneau, Wisconsin on the appeal of **Leland Construction LLC applicant for Terrance Carpenter** for a variance to the terms of the Highway Setback provisions of the Dodge County Land Use Code as well as the Shoreland Ordinary High Water Mark setback provisions, Lateral Expansion of a legal existing nonconforming Principle Structure provisions and the Minimum Lot Size requirement provisions of the Dodge County Shoreland Protection Ordinance, in order to allow the removal of an approximate 15' X 15' – one story portion of the home located on the property described above and to replace it with an approximate 19' X 17' two story addition.

The site located on Lot 2 Sinissippi Heights Subdivision located in part of the SW ¼ of the SW ¼, Section 33, Town of Hubbard, the site address being N4999 Lake Drive. A copy of the proposed petition is available for review in the County Land Resources and Parks Department between the hours of 8:00 a.m. and 4:30 p.m., Monday-Friday (920-386-3700).

All persons interested are invited to attend and be heard. Written comments may be submitted to the Dodge County Land Resources and Parks Department at 127 E Oak Street, Juneau, WI 53039 or by e-mail to tochs@co.dodge.wi.us no later than December 14, 2022.

Dated November 10, 2022

Dodge County Board of Adjustment
By William Nass, Chairman



**DODGE COUNTY LAND RESOURCES
AND PARKS DEPARTMENT**
127 E. Oak Street • Juneau, WI 53039
PHONE: (920) 386-3700 • FAX: (920) 386-3979
E-MAIL: landresources@co.dodge.wi.us

THIS AREA FOR OFFICE USE ONLY	
Activity No. 220911	Issue Date:
Application Date: 11-1-2012	Receipt #: 6005-0009

Variance Application

Application Fee: \$450 (After the Fact Application Fee: \$900)

Names and Mailing Addresses	Property Description							
Applicant (Agent) Terrance Carpenter	Parcel Identification Number (PIN) 022-1116- Lot 2 Ex Hwy Desc: #1065977-3333-003							
Street Address N4999 Lake Drive	Town HUBBARD							
City • State • Zip Code Hustisford, WI 53034	<table border="1"> <tr> <td>1/4</td> <td>1/4</td> <td>Section</td> <td>T</td> <td>N</td> <td>R</td> <td>E</td> </tr> </table>	1/4	1/4	Section	T	N	R	E
1/4	1/4	Section	T	N	R	E		
Property Owner (If different from applicant) Terrance Carpenter	Subdivision or CSM # Mississippi Heights							
Street Address N4998 Lake Dr	Site Address N4999 LK Drive Hustisford WI 53034							
City • State • Zip Code Hustisford WI 53034	Is this property connected to public sewer? <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No							
Present property use: VACANT								
List any prior variances that have been granted or denied for this property: None								
Describe all nonconforming structures and uses on this property: EXISTING House & Sites								
List the terms of the Land Use Code for which you are requesting a variance (section # and code provision requirements): Section 10.3.1 Nonconforming Structure Section 11.2 Sitorland ordinance								
Variance Requested: House Addition on a legally non conforming Structure within the Shoreline setback								
Address the following variance criteria described in the application materials. (Attach additional sheets if necessary):								
What unnecessary hardship is present that prohibits your compliance with the terms of the Land Use Code? Foundation								
1. Existing Structure is not habitable due to structural Damage (Decaying Structure)								
2. Trying to relocate A family member into this house (Daughter)								
3. Daughter can not afford A home in today's Market.								

What unique features of this property prevent you from complying with the terms of the Land Use Code?

Structure is within 30' of the Shoreline

Will denial of the variance request prevent you from using this property for a permitted purpose or render conformity with the Code unnecessarily burdensome? Why?

yes. Denial will prevent the ability for the proper structural repairs needed to remodel the house for minimal space needed to support a family of 3

How would the interest of the public or neighbors be affected by granting or denying this variance?

Granting this variance will only enhance the neighborhood curb appeal for the public and the surrounding neighbors. There are no disadvantages for approval.

CERTIFICATE

I hereby certify that I am the owner and/or authorized agent of the property owner and that all the above statements and attachments submitted hereto are true and correct to the best of my knowledge and belief and I hereby authorize members of the Dodge County Land Resources and Parks Department and members of the Dodge County Board of Adjustment to enter the above described property for purposes of obtaining information pertinent to my application/appeal/variance request.

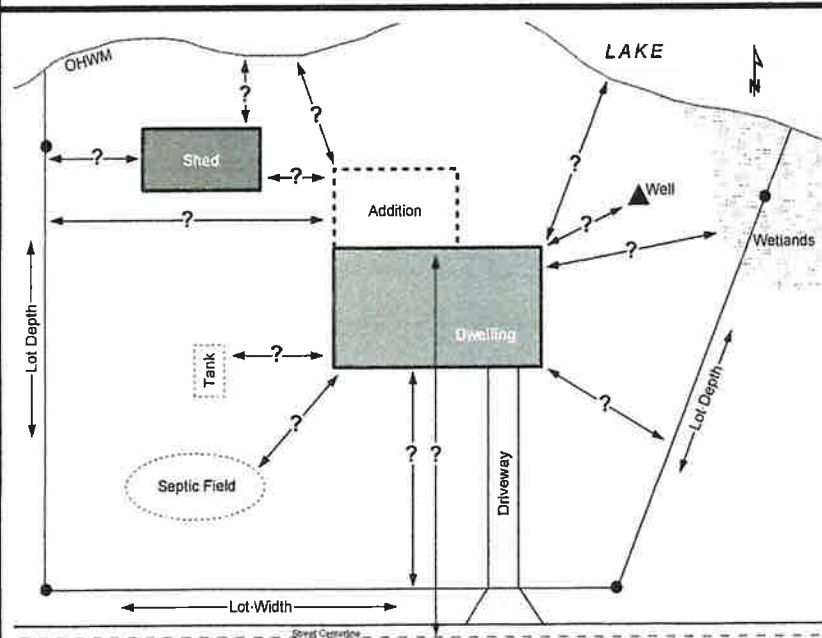
Signature of owner or authorized agent: Terrance L. Carpenter

Date: 11/1/22

Daytime Contact Number (414) 550 - 3423

SITE PLANS AND BUILDING PLANS

All applications must be accompanied by a site plan. Figure 1 below is an example of an acceptable plan.



Site plans must be drawn to scale and/or all dimensions given, such as:

- Location and dimensions of the project
- Location and dimensions of existing structures
- Dimensions of the property
- Location and names of abutting roads, lakes & Streams
- North arrow
- Owner's name

Distances must be shown from the project to:

- Lot lines
- Road right-of-ways & centerline
- Water bodies Ordinary High Water Mark (O.H.W.M.)
- Septic & holding tanks
- Soil absorption systems
- Nearby structures (within 50 feet)



**DODGE COUNTY LAND RESOURCES
AND PARKS DEPARTMENT**
127 E. Oak Street • Juneau, WI 53039
PHONE: (920) 386-3700 • FAX: (920) 386-3979
E-MAIL: landresources@co.dodge.wi.us

THIS AREA FOR OFFICE USE ONLY	
Activity No. 220911	Issue Date:
Application Date: 11-1-2012	Receipt #: 6005-0009

Variance Application

Application Fee: \$450 (After the Fact Application Fee: \$900)

Names and Mailing Addresses		Property Description					
Applicant (Agent) Terrance Carpenter	Parcel Identification Number (PIN) 022-1116- Lot 2 Ex Hwy Desc. #1065977-3333-003						
Street Address N4999 Lake Drive	Town Hubbard						
City • State • Zip Code Hustisford, WI 53034	1/4	1/4	Section	T	N	R	E
Property Owner (If different from applicant) Terrance Carpenter	Subdivision or CSM # Mississippi Heights						
Street Address N4998 Lake Dr.	Site Address N4999 LK Drive Hustisford WI 53034						
City • State • Zip Code Hustisford WI 53034	Is this property connected to public sewer? <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No						
Present property use: VACANT							
List any prior variances that have been granted or denied for this property: None							
Describe all nonconforming structures and uses on this property: EXISTING House & Sites							
List the terms of the Land Use Code for which you are requesting a variance (section # and code provision requirements): Section 10.3.1 Nonconforming Structure Section 11.2 Sitor/land ordinance							
Variance Requested: House Addition on a legally non conforming structure within the shoreline setback							
Address the following variance criteria described in the application materials. (Attach additional sheets if necessary):							
What unnecessary hardship is present that prohibits your compliance with the terms of the Land Use Code? Foundation							
1. Existing Structure is not habitable due to structural damage (Decaying Structure)							
2. Trying to relocate a family member into this house (Daughter)							
3. Daughter can not afford a home in today's market.							

What unique features of this property prevent you from complying with the terms of the Land Use Code?

Structure is within 30' of the Shoreline

Will denial of the variance request prevent you from using this property for a permitted purpose or render conformity with the Code unnecessarily burdensome? Why? yes. Denial will prevent the ability for the proper

Structural Repairs needed to remodel the house for minimal space needed to support a family of 3

How would the interest of the public or neighbors be affected by granting or denying this variance?

Granting this variance will only enhance the neighborhood curb appeal for the public and the surrounding neighbors. There are no disadvantages for approval.

CERTIFICATE

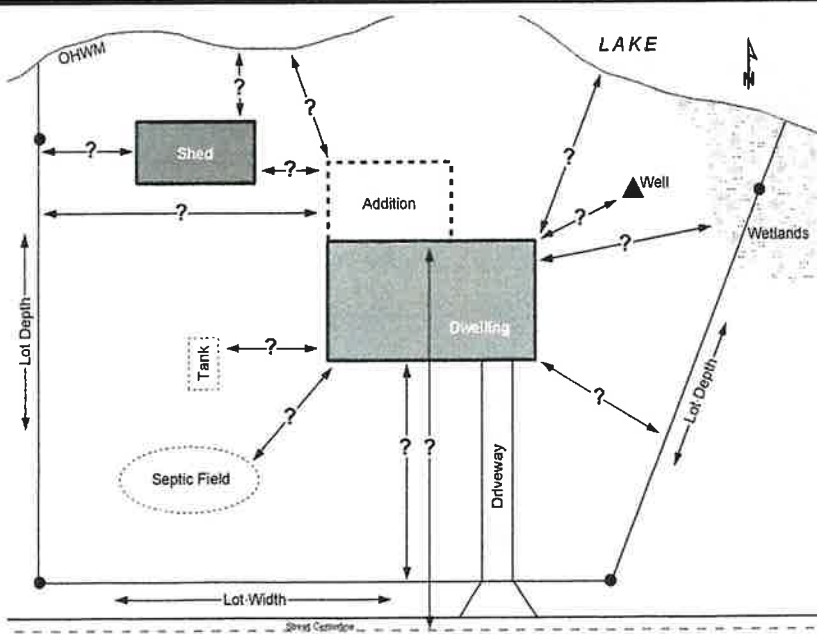
I hereby certify that I am the owner and/or authorized agent of the property owner and that all the above statements and attachments submitted hereto are true and correct to the best of my knowledge and belief and I hereby authorize members of the Dodge County Land Resources and Parks Department and members of the Dodge County Board of Adjustment to enter the above described property for purposes of obtaining information pertinent to my application/appeal/variance request.

Signature of owner or authorized agent: Terance L. Carpenter Date: 11/1/22

Daytime Contact Number (414) 550 - 3423

SITE PLANS AND BUILDING PLANS

All applications must be accompanied by a site plan. Figure 1 below is an example of an acceptable plan.



Site plans must be drawn to scale and/or all dimensions given, such as:
Location and dimensions of the project
Location and dimensions of existing structures
Dimensions of the property
Location and names of abutting roads, lakes & Streams
North arrow
Owner's name

- Distances must be shown from the project to:
- Lot lines
 - Road right-of-ways & centerline
 - Water bodies Ordinary High Water Mark (O.H.W.M.)
 - Septic & holding tanks
 - Soil absorption systems
 - Nearby structures (within 50 feet)



Dodge County

Land Resources and Parks Department

127 East Oak Street · Juneau, WI 53039-1329
PHONE: (920) 386-3700 · FAX: (920) 386-3979
EMAIL: landresources@co.dodge.wi.us

November 10, 2022

Leland Construction LLC
N4999 Lake Dr.
Hustisford, WI 53034

RE: Notice of Permit Refusal - County ID #2022-0910

Owner: Terrance and Kathleen Carpenter

PIN# 022-1116-3333-003

Location: Lot 2 Sinissippi Heights Subdivision located in part of the SW ¼ of the SW ¼, Section 33, Town of Hubbard, the site address being N4999 Lake Drive.

Dear Leland Construction LLC,

Your application, as agent for Terrance and Kathleen Carpenter, for a permit to remove an approximate 15' X 15' – one story portion of the home located on the property described above and to replace it with an approximate 19' X 17' two story addition is hereby denied for failure to comply with the following sections of the Dodge County Codes:

Highway Setback Overlay Provisions of the Land Use Code:

Subsection 4.6.4.A and Table 5.1-1 of the Land Use Code refer to the required setbacks from public roads, streets and highways, within the Highway Setback Overlay District. According to County Records, Lake Drive is designated as an urbanized road and the required setback is 60 feet from the centerline or 27 feet from the road right-of-way, whichever distance is greater. In addition, according to County records, the road right-of-way for Lake Drive extends along the north and east sides of this lot. As proposed, the replacement addition will be located approximately 10 1/2' from the centerline of the right-of-way area that is located along the north side of the lot or 49 1/2' within the required highway setback line, therefore not in compliance the highway setback provisions of the Code. The proposed replacement addition is located in compliance with the required highway setback line along the east side of the lot.

Shoreland Ordinance Provisions:

Section 6.1 of the Shoreland Protection Ordinance refers to the shoreland setback distances that all structures are to be set back from the ordinary high water mark (OHWM) of a Navigable Body of water. According to this provision, unless exempt under 6.1, or reduced under 6.2, a setback of 75 feet from the OHWM of any navigable waters to the nearest part of a building or structure shall be required for all buildings and structures.

According to Section 6.2 of the Ordinance, this lot qualifies for a reduced water setback of 66.75' from the OHWM. As proposed, the replacement addition will be located approximately 30 feet from the OHWM of Lake Sinissippi or 36.75' feet within the minimum required reduced water setback and therefore prohibited by the Ordinance.

Section 11.3 Lateral Expansion of a nonconforming principal structure within the setback.

According to County records, the residence is considered a legal existing, nonconforming structure as the residence is located within the required setback line from the OHWM and said residence was in existence prior to the adoption of the Shoreland Ordinance.

In accord with Section 11.3 of the Ordinance, an existing principal structure that was lawfully placed when constructed but that does not comply with the required building setback required under Section 6.1 may be expanded laterally, provided that all of the following requirements are met:

- (1) The use of the structure has not been discontinued for a period of 12 months or more if a nonconforming use.
- (2) The existing principal structure is at least 35 feet from the ordinary high-water mark.

- (3) Lateral expansions are limited to a maximum of 200 square feet over the life of the structure. No portion of the expansion may be any closer to the ordinary high-water mark than the closest point of the existing principal structure.
- (4) The County shall issue a permit that requires a mitigation plan that shall be approved by the County and implemented by the property owner by the date specified in the permit. The mitigation plan shall meet the standards found in Section 13.0.
- (5) All other provisions of the shoreland ordinance shall be met.

As proposed the replacement addition does not satisfy the requirements of Section 11.3(2) and Section 11.3 (3) as the existing principle structure is located approximately 14' from the OHWM of Lake Sinissippi and the proposed 19' X17' addition will exceed the maximum 200 square feet area requirement by 123 sq. feet and therefore is prohibited by the Ordinance.

Section 5.0 Minimum Lot Size

According to Section 5.1(2) of the ordinance, legal lots of record or parcels of land which do not meet the minimum lot area and lot width requirements stated in sections 5.2, 5.3, 5.4 shall not qualify for a land use permit under this Ordinance to allow the construction of a structure or building on the legal lot of record or parcel of land.

According to Section 5.3 of the Shoreland Ordinance, the minimum lot area for lots served by public sewer shall be 10,000 square feet excluding street right-of-ways and land under the beds of navigable waters and the minimum lot width shall be 65 feet at the building setback line and 65 feet at the OHWM. According to County records, the lot width of this lot is 50' wide at the building setback and at the OHWM. In addition, the lot contains approximately 4792 square feet in area. Therefore, the County considers this lot as a legal existing substandard lot of record because it does not meet the minimum lot width and area requirements of the Ordinance and the lot was created prior to the adoption of the lot size standards.

In accord with Section 5.4(3) of the Shoreland Ordinance, a legally created lot that met minimum area and minimum average width requirements when created, but does not meet current lot size requirements, may be used as a building site if all of the following apply:

- (3) The substandard lot is developed to comply with all other ordinance requirements.

As proposed, the addition does not comply with the water setback and non-conforming structure requirements of the Ordinance and therefore is prohibited by Section 5.4(3) of the Ordinance.

Therefore, the County is unable to issue a permit for your proposed construction projects unless a variance is granted to the highway setback and shoreland ordinance standards.

According to County records, a variance request was filed on November 1, 2022 and has been forwarded to the Board of Adjustment for scheduling of an on-site inspection and a public hearing.

You have the right to appeal this decision to the Board of Adjustment. Such appeals shall be filed with the Land Resources and Parks Department within 30 days after the date of written notice of the decision or order of the review and decision making body. If you have any questions, feel free to contact our office.

Sincerely,


Joseph Giebel
Manager – Code Administration

cc: Terrance and Kathleen Carpenter

Land Use Permit

Dodge County Land Resources and Parks Department
 127 East Oak Street
 Juneau, WI 53039-1329
 (920) 386-3700 x2 or landresources@co.dodge.wi.us
 www.co.dodge.wi.gov

190.00

This Area For Office Use Only

COUNTY ID No.

220910

Receipt No.

6005-0009

Application Date

11-1-2022

Permit Expiration Date

Sanitary Permit

PERMIT APPLICATION FEE: \$50 plus \$2 per \$1,000 cost of the project (Payable to: Dodge County) / **CITY OF JUNEAU (\$25 or After the Fact/\$50)**
 Note: After the fact (i.e., Applying for permit after construction has already started) application fee: \$100 plus \$4 per \$1,000 cost of project

NAMES & MAILING ADDRESSES

Applicant/Agent/Contractor (If Contractor: Please include State Certification No.)

Leland Construction LLC DC#-031100121
 DC-03110

Street Address

N 4999 Lake Drive

City • State • Zip Code

Hustisford, WI 53034

Property Owner

Same as applicant

Terrance or Kathleen Carpenter

Street Address

N 4998 Lake Drive

City • State • Zip Code

Hustisford, WI 53034

PROPERTY INFORMATION

Parcel Identification Number (PIN)

022-1116-3333-003

Town

HUBBARD

T

11

N

16

R

2

Lot (Block)

1/4

SW

1/4

SW

Section
33

Acreage
0.109

Subdivision or CSM (Volume/Page/Lot)

Mississippi Heights

Address Of Property (DO NOT include City/State/Zip Code)

N4999 Lake Dr

Is this property connected to public sewer? No Yes

Is property located within a sanitary district/accessible to public sewer? No Yes

CURRENT USE OF PROPERTY

- Vacant Land Single-Family Residential
 Working Farm Two-Family Multi-Family
 Business • Industrial • Commercial • (Use other below to describe)

Other _____

PROPOSED USE OF PROPERTY

- Same As Current Use (No Change)
 Single-Family Residential Two-Family Multi-Family
 Business • Industrial • Commercial • (Use other below to describe)

Other _____

PROPOSED CONSTRUCTION PROJECT

(CHECK ALL THAT APPLY)

*** (Building plans are required for new/replacement Homes) ***

- NEW STRUCTURE/CONSTRUCTION REPLACEMENT OF EXISTING ADDITION TO AN EXISTING
- Pool Porch Driveway Field Tile Installation
 Deck Fence Boathouse Pond (Less than 2 acres in size)
 Patio Riprap Attached Garage Sign (Complete additional project information below)
 Shed Gazebo Detached Garage Barn (Complete additional project information below)
 Home Sidewalk Ag Ditch Cleanout Home Addition (Complete additional project information below)

Filling, Grading, Ditching, Dredging, Lagooning, and/or Excavating- Contact this office for assistance with determining type of permit needed

Other _____

Width 19'

Length 17' 1"

Total Area 323 sq ft

Total Stories 2

Height (To roof peak) 26' 2 1/2"

Estimated Cost (w/Labor) \$ 70,000.00

Additional Project Information

Home Addition: Total number of bedrooms? Before 1 After 2

Barn Information: Will it house any animals? If yes, complete Animal Units Worksheet.

Sign Information: Single-Sided Double-Sided

Located On-Premise Located Off-Premise

Wall Ground Directional Other _____

Will it be lighted and/or have moving/flashing parts? No Yes

◆ ◆ ◆ CLEARLY MARK/FLAG/STAKE-OUT THE CORNERS OF YOUR PROJECT & PROPERTY LINES ◆ ◆ ◆

DNR NOTICE: You are responsible for complying with State and Federal laws concerning construction on or near wetlands, lakes and streams. Wetlands that are not associated with open water can be difficult to identify. Failure to comply may result in removal or modification of construction that violates the law or other penalties or costs. For more information, visit the Department of Natural Resources Wetlands Identification Web Page (www.dnr.state.wi.us) or contact a Department of Natural Resources Service Center.

PAGE 2 — SUPPLEMENTAL INFORMATION AND ADDITIONAL REQUIREMENTS

NOTE: Your County Land Use Permit will be withheld and will not be processed without the completion and submittal of the required worksheet(s) to this office for departmental review and approval. Worksheets can be found at <http://www.co.dodge.wi.gov/government/departments-e-m/land-resources-and-parks/zoning-permits-and-ordinance/land-use-permit>

Is your project located within 1000 feet of a lake, pond or flowage, within 300 feet of the ordinary highwater mark (edge of the water) of a navigable waterway stream or creek or within a wetland or a floodplain? If you are uncertain, please contact this office for assistance.

- YES ⇒ Go to question 1.
 NO ⇒ Go to question 4.

1. Does your project involve construction, reconstruction, expansion, replacement or relocation of any impervious surfaces on your lot (see description below) that are located within 300 feet of the ordinary highwater mark (edge of the water) of a navigable lake, pond, flowage or waterway?

An impervious surface is defined as an area that releases as runoff all or a majority of the precipitation that falls on it. The following "surfaces" are considered "impervious" under this Ordinance: (building) rooftops; concrete/blacktop/gravel driveways and parking surfaces; sidewalks; covered/uncovered decks; patio surfaces constructed with pavers/concrete/blacktop/flagstone; private road surfaces not specifically listed in the Ordinance or any other material and any other surface that is determined by the Land Use Administrator to be impervious. An impervious surface excludes frozen soil, public road surfaces and certain private roads that are specifically listed in the Ordinance.

- YES ⇒ You will need to complete and submit **WORKSHEET NO 1 (IMPERVIOUS SURFACE AREA CALCULATION)** to this office for departmental review and approval. Go to question 2.
 NO ⇒ Go to question 2.

2. Will any part of your project be located less than 35 feet from the ordinary highwater mark (edge of the water) of a navigable lake, pond, flowage or waterway? (**NOTE:** If your project involves either a boathouse or riprapping — Go to line 3)

- NO ⇒ Go to question 3.
 YES ⇒ Your project **CAN NOT BE APPROVED** as proposed — Contact this office for assistance. Go to question 3.

3. Will any part of your project be located anywhere between 35-75 feet from the ordinary highwater mark (edge of the water) of a navigable lake, pond, flowage or waterway?

- NO ⇒ Go to question 4.
 YES ⇒ You will need to complete and submit **WORKSHEET NO. 2 (MITIGATIONS OPTION CALCULATIONS)** to this office for departmental review and approval. Go to question 4.

4. Does your project involve riprapping?

- NO ⇒ Go to question 5.
 YES ⇒ You will need to complete and submit **WORKSHEET NO 3 (RIPRAP PROJECT SUPPLEMENTAL INFORMATION)** to this office for departmental review and approval. Go to question 5.

5. Does your project involve the installation of field drain tile?

- NO ⇒ Go to question 6.
 YES ⇒ You will need to complete and submit **WORKSHEET NO. 4 (FIELD DRAIN TILE SUPPLEMENTAL INFORMATION)** to this office for departmental review and approval. Go to question 6.

6. Does your project involve cleaning-out, dredging, relocating and/or the construction of an agricultural drainage ditch?

- NO ⇒ Go to question 7.
 YES ⇒ You will need to complete and submit **WORKSHEET NO. 5 (AGRICULTURAL DRAINAGE DITCH SUPPLEMENTAL INFORMATION)** to this office for departmental review and approval. Go to question 8.

7. Does your project involve the filling, grading or disturbing of more than 2000 square feet of land?

- NO ⇒ Go to question 8.
 YES ⇒ You will need to complete and submit **Worksheet No. 6 (Erosion Control Supplemental Information)** to this office for departmental review and approval. Go to question 8.

8. Does your project involve the construction or reconstruction of a pond less than 2 acres in size?

- NO ⇒ Go to question 9.
 YES ⇒ You will need to complete and submit **WORKSHEET NO. 7 (POND CONSTRUCTION SUPPLEMENTAL INFORMATION)** to this office for departmental review and approval. Go to question 9.

9. Does your project involve any filling, grading, dredging, or excavating and/or the construction of a pond ≥ 2 acres within a (mapped) wetland, floodplain and/or navigable waterway?

- NO ⇒ Sign and date application below.
 YES ⇒ A County **CONDITIONAL USE PERMIT** (CUP) may [also] be needed. Contact this office for assistance regarding the CUP process. Sign and date application below.

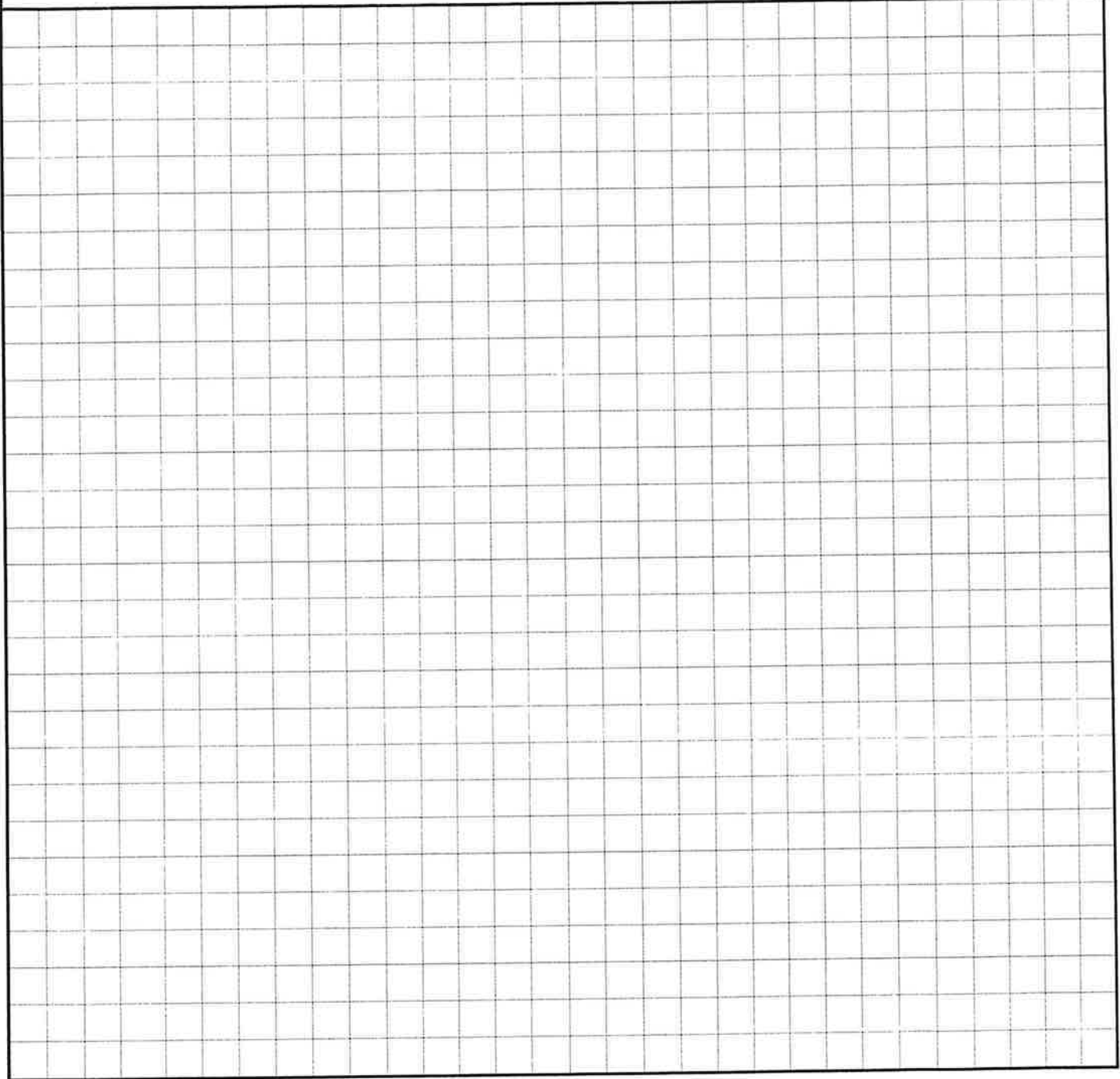
CERTIFICATE & CONTACT INFORMATION

I, the undersigned, hereby apply for a Land Use Permit and certify that all the information both above and attached is true and correct to the best of my knowledge. I affirm that all work performed will be done in accordance with the Dodge County Land Use Ordinance and with all other applicable laws and regulations. I hereby authorize members of the Dodge County Land Resources and Parks Department to enter the above-described property for the purpose of conducting an onsite code inspection(s) and to obtain information pertinent to my application request. Furthermore, I also affirm that I have read and understand the DNR notice regarding construction on or near wetlands, lakes or streams.

Contact Person (Print) Terrance Carpenter Daytime Contact Phone (414) 550-3423 or Email: tc.land@ic@gmail.com

Signature Terrance L. Carpenter Date 10/24/22 Call for pickup No Yes

SITE PLAN (SKETCH)



See Attached Site Plan (Sketch)

THIS AREA FOR OFFICE USE ONLY

BOA ID No.	BOA Appeal Date	BOA P/H/Date	BOA Decision Date	BOA Decision
20 22-0911	11/1/2022	12/15/2022		<input type="checkbox"/> Approved <input type="checkbox"/> Approved w/Conditions <input type="checkbox"/> Denied
Notes/Stipulations:				
11/10/2022 LUP Denied for				
<input type="checkbox"/> Approved <input type="checkbox"/> Denied			Land Resources and Parks Department	Date
_____			_____	_____

Please use only blue or black ink to complete the application and site plan (sketch) — **DO NOT USE PENCIL**

APPLICATION FORM COMPLETION TIPS

Property Identification Number (PIN): The PIN can be found in the upper right-hand corner of the tax bill for the property. Alternatively, the PIN can also be found using the [Land Records Search Tool](#) located on the Dodge County Website (www.co.dodge.wi.us) or by contacting the County Property Description Office (920) 386-3770 (propertydescription@co.dodge.wi.us).

Riprap & Ag Ditch Cleanout Projects: Additional supplemental forms/information may also be required.

Barn Projects: Depending upon the number of animals, an "Animal Units Worksheet" may also be required.

Wireless Communication Facility Category 2 Collocation Projects: – Submit two copies of detailed design specifications of the tower and supporting equipment which includes a side view illustration of the proposed tower showing the overall tower height and the proposed antennae locations.

The Application must be signed and dated to be valid. Application will not be processed without payment of the required fee.

Property Line Location Markers: The property owner is responsible to clearly mark the boundary lines and the boundary corners adjacent to where the proposed construction will take place. Markings shall be clearly visible and accurate prior to, as well as at, the time of inspection. This may be by means of the property owner marking the boundary line(s) and the boundary corner(s) themselves or having the boundary line and boundary corners surveyed and marked by a professional. If the location of the property line(s) marked by the property owner or his/her agent is not consistent with the location of the property line(s) shown on public records or if there is a disagreement by any of the parties involved about the location of the boundary line(s), the Department may require the property line(s) to be surveyed by a registered land surveyor at the owner's expense.

Building Plans: Building plans are a graphical representation of what a building will look like after construction. Building plans shall include all proposed construction including all proposed attachments or extensions from the main structure including decks, platforms, landings, patios, attached garages, porches, lean-to structures and overhangs greater than 2 feet in width, etc.

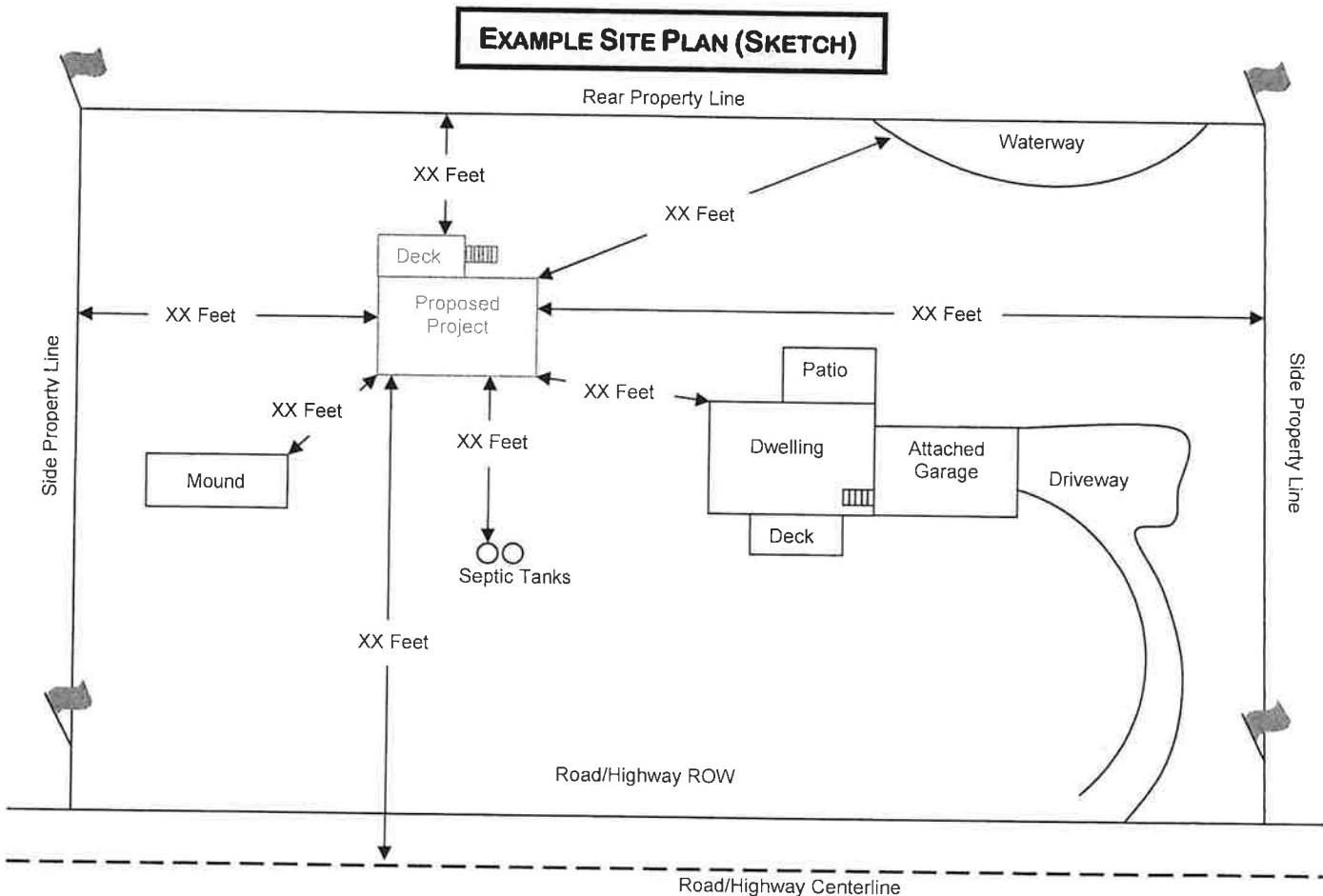
SITE PLAN (SKETCH) COMPLETION TIPS

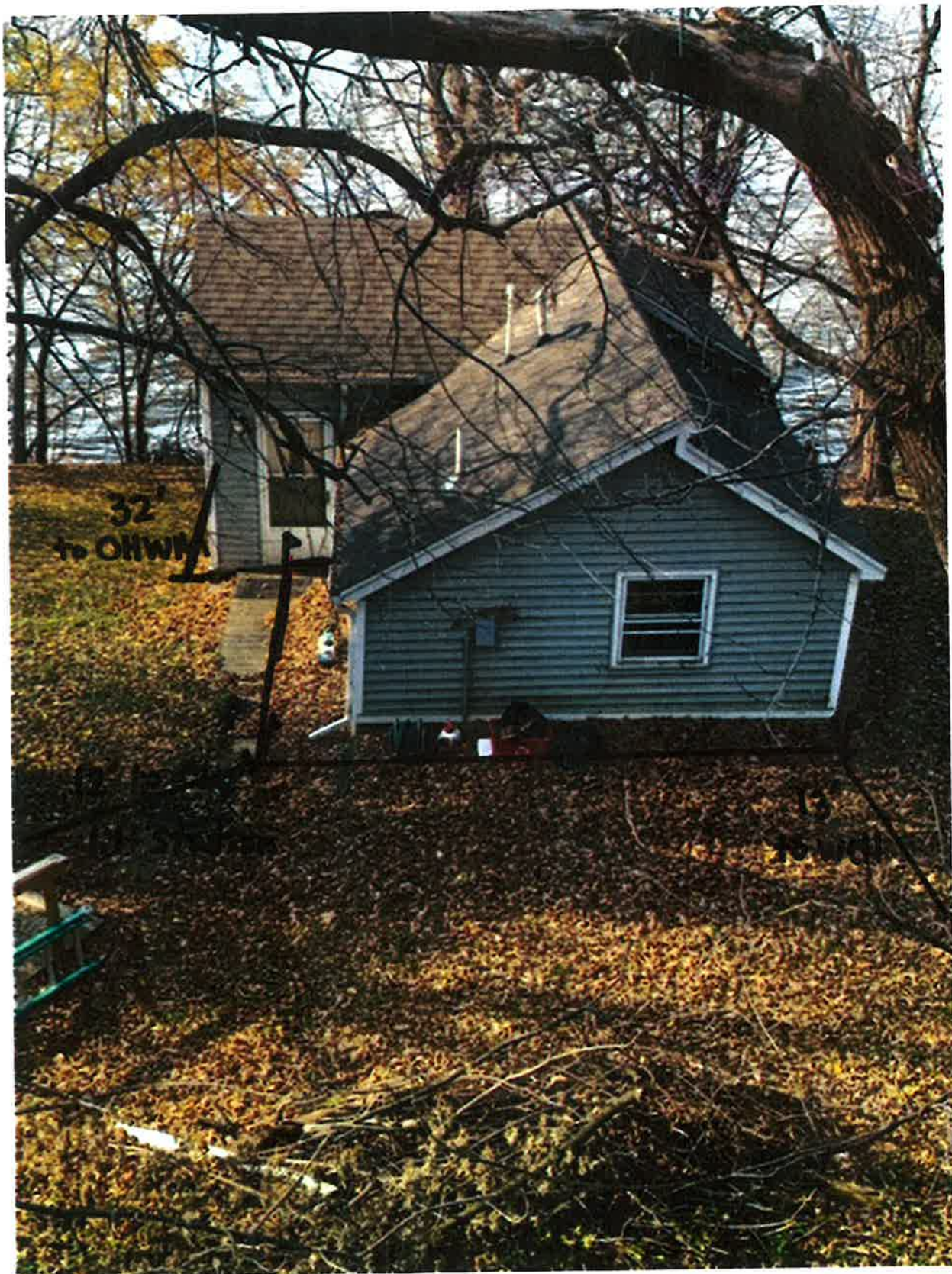
ALL applications must be accompanied by a site plan (sketch). You may use an aerial photo which can be obtained by using the Dodge County Web mapping tool at <http://dodgecowi.wgxtreme.com/>, the attached (blank) site plan or supply your own.

Where applicable, the site plan must show the setback or distance (either scaled or dimensioned) of the proposed project from such items as:

- ✓ Side and Rear Lot/Property Line(s)
- ✓ Abutting Road/Highway Centerline(s)
- ✓ Nearby Lakes and/or Creeks/Streams
- ✓ Nearest Adjacent Structure/Building on Lot
- ✓ Septic/Holding Tank and/or Pump Chamber
- ✓ Septic System Absorption Area (Mound, Trench, Drainline, etc.)

NOTE: Generally, setbacks (distances) greater than 200 feet can be estimated. Missing, ambiguous, imprecise or inaccurate information will result in delay in the review and/or issuance of the permit application.

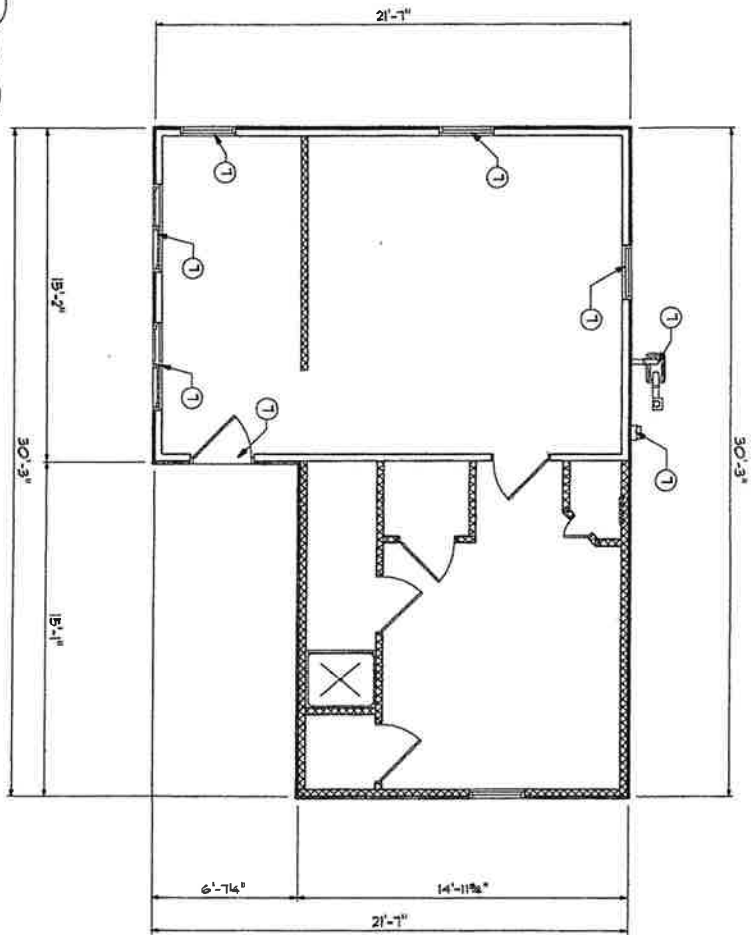




1000

1000

DEMOLITION NOTES:



ALL DIMENSIONS MUST BE VERIFIED IN FIELD G.C. TO COORDINATE AND CONFIRM ANY VARIABLES THAT OCCUR DUE TO EXISTING SITE CONDITIONS.

EXISTING/DEMOLITION PLAN



LEGEND	
	• EXISTING EXTERIOR WALLS
	• REMOVE EXTERIOR WALLS
	• EXISTING INTERIOR WALLS
	• REMOVE INTERIOR WALLS
	• EXISTING FLOOR
	• REMOVE FLOOR
	• CALLOUT KEY

DEMOLITION GENERAL NOTES:

1. DEMOLITION AS REQUIRED TO ACCOMPLISH WORK INDICATED IN THESE DOCUMENTS. ALL REMOVED DEMOLITION WORK SHALL BE IDENTIFIED BY THE CONTRACTOR.
2. DO NOT ALLOW MATERIALS AND DEBRIS GENERATED BY DEMOLITION ACTIVITIES TO REMAIN ON SITE. ALL MATERIALS SHALL BE LOADED, STAGED AND REMOVED FROM THE SITE. NO ON-SITE SALE OR BURNING OF REMOVED ITEMS IS PERMITTED.
3. THIS PLAN IS TO BE USED IN CONJUNCTION WITH THE ENGINE SET OF CONSTRUCTION DOCUMENTS. DO NOT REMOVE ANY ITEMS WITHOUT VERIFYING AND CORROBORATING WITH THE ENGINE SET TO BE TO BE REMOVED TO THE OVERALL PROJECT.
4. THE CONTRACTOR MUST TAKE ALL NECESSARY PRECAUTIONS TO ENSURE THE SAFETY OF THE PROJECT. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND ACCOUNTS OR WAIVER TO ANY FEDERAL, STATE, COUNTY OR LOCAL AGENCIES TO THE PROJECT. THE CONTRACTOR SHALL CONSULT WITH ALL LOCAL, STATE AND FEDERAL AGENCIES AND REGULATIONS TO ENSURE THE SAFETY AND THE PREVENTION OF ACCIDENTS.
5. THE CONTRACTOR MUST MAINTAIN ADEQUATE APPROPRIATE NOTIFICATION, SIGNAGE, ETC., THROUGHOUT DEMOLITION. SECURITY, ALARMS, ETC., SHALL BE MAINTAINED THROUGHOUT DEMOLITION. ALL ON-SITE WORK SHALL BE TO REMAIN FOR ALL ON-SITE WORK AND TO REMAIN FOR ALL ON-SITE WORK.

DM	TITLE EXISTING/DEMOLITION PLAN	
	DRAWN BY TERRY	DATE 10-31-2022
	SCALE 1/4" = 1'-0"	REV.

LELAND CONST., LLC

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N 4999 LAKE DRIVE
HUSTISFORD, WI. 53034

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 PLUNGE WIS. 53094
 414-737-1141
 E-MAIL - KETTLEHOLLOWDESIGNS.COM

KETTLE HOLLOW HOME

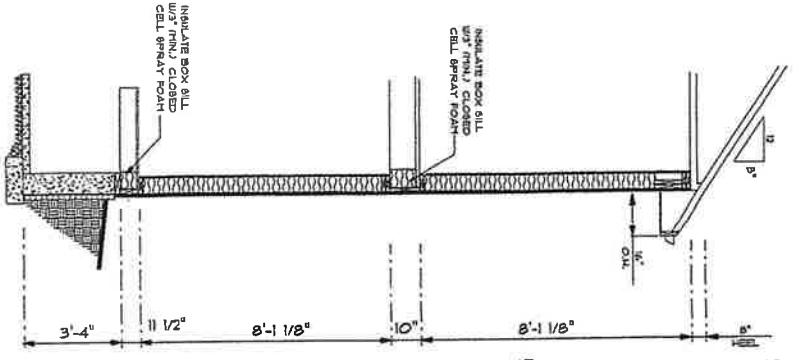
KMH

DESIGN SERVICES, LLC

CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND ACCOUNTS OR WAIVER TO ANY FEDERAL, STATE, COUNTY OR LOCAL AGENCIES TO THE PROJECT. THE CONTRACTOR SHALL CONSULT WITH ALL LOCAL, STATE AND FEDERAL AGENCIES AND REGULATIONS TO ENSURE THE SAFETY AND THE PREVENTION OF ACCIDENTS.

FRAMING/FINISH NOTES:

1. RELOCATE ELECTRIC WIRE/ROUNDS.
2. WATER GOVERNORING TANK.
3. FORCED AIR GAS BRNAGE.
4. WALL MOUNTED TANKLESS WATER HEATER.
5. STACKED WASHMOUNTERS.



ROOF SYSTEM

- 1/2\"/>

FASCIA/SOFFIT SYSTEM

- CONTINUOUS ALUMINUM GUTTERS
- WINDOWS/DOORS AS REQ'D.
- 1 X 6 S4S FASCIA
- 1 X 6 S4S RAFTER FASCIA TRIM BOARD
- 1/2\"/>

WALL SYSTEM

- 1/2\"/>

UPPER FLOOR SYSTEM

- FINISHED FLOOR MATERIAL
- VERIFIED JOISTS
- 3/4\"/>

WALL SYSTEM

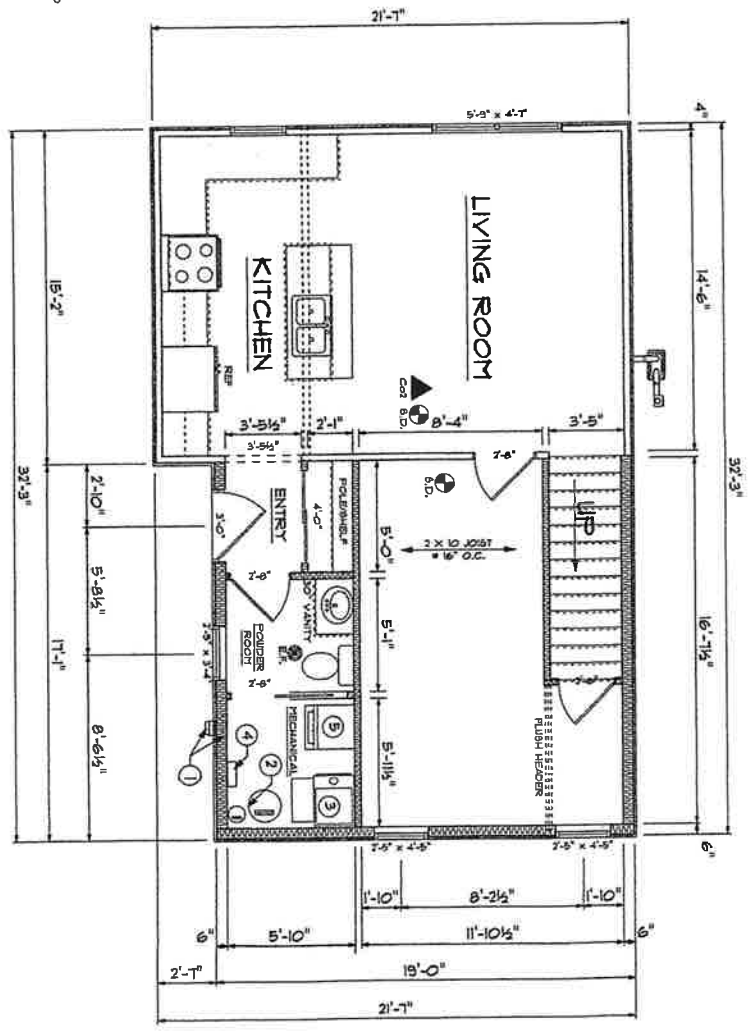
- 1/2\"/>

MAIN FLOOR SYSTEM

- 1/2\"/>

FOUNDATION SYSTEM

- 1/2\"/>



REMODEL/ADDITION MAIN FLOOR PLAN

SCALE: 1/4" = 1'-0"



LEGEND

- ① • SMOKE DETECTOR
- ② • CARBON MONOXIDE DETECTOR
- ③ • EXHAUST FAN
- ④ • HOSE BIBB
- ⑤ • WINDOW KEY
- ⑥ • CALLOUT KEY

NOTES

ALL DIMENSIONS MUST BE VERIFIED IN FIELD. G.C. TO COORDINATE AND CONFIRM ANY VARIABLES THAT OCCUR DUE TO EXISTING SITE CONDITIONS.

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TITLE		EXISTING/DEMOLITION PLAN	
DRAWN BY	DATE	SCALE	REV.
TERRY	10-31-2022	1/4" = 1'-0"	

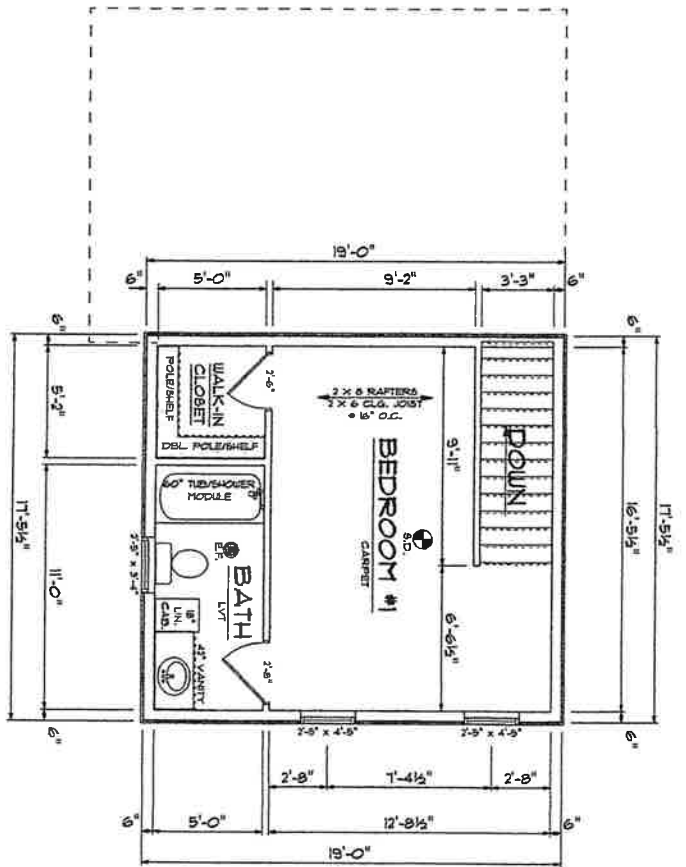
LELAND CONST., LLC
 CARPENTER COTTAGE
 N 4999 LAKE DRIVE
 HUSTISFORD, WI. 53034

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 410 EVELYN MORGAN DRIVE, S.
 SUNSHINE WY. 53005
 414-771-1148
 E-MAIL: HMDDESIGN@PROYTER.COM

KMH DESIGN SERVICES, LLC
 410 EVELYN MORGAN DRIVE, S.
 SUNSHINE WY. 53005
 414-771-1148

TYP. WALL SECTION

NOT TO SCALE



ALL DIMENSIONS MUST BE VERIFIED IN FIELD. G.C. TO COORDINATE AND CONFIRM ANY VARIABLES THAT OCCUR DUE TO EXISTING SITE CONDITIONS.

UPPER FLOOR ADDITION PLAN

SCALE: 1/4" = 1'-0"



LEGEND	
	• EXHAUST FAN
	• CALLOUT KEY
	• SMOKE DETECTOR
	• CARBON MONOXIDE DETECTOR
	• HOLE SIBB

NOTES

- 1. ALTHOUGH EVERY EFFORT HAS BEEN MADE IN PREPARING THIS PLAN, THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND CONDITIONS IN THE FIELD AND BE RESPONSIBLE FOR THE SAME.
- 2. EXISTING DIMENSIONS ARE TO FACE OF WALLS UNLESS NOTED OTHERWISE.
- 3. DIMENSIONS AT EXTERIOR WALLS ARE TO 1/2" R MEMBERS UNLESS NOTED OTHERWISE.
- 4. ALL WORK SHALL BE COMPLETED IN ACCORDANCE WITH THE NATIONAL BUILDING CODE AND ALL APPLICABLE LOCAL ORDINANCES AND ALL CITY AND COUNTY ORDINANCES.
- 5. THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND CONDITIONS IN THE FIELD AND BE RESPONSIBLE FOR THE SAME.
- 6. FOR PLACEMENT OF SLABS OR LIFT SLABS TO REINFORCE EXISTING FOUNDATION, THE CONTRACTOR SHALL CONSULT WITH THE GEOTECHNICAL ENGINEER AND OBTAIN ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL AUTHORITY.
- 7. UNLESS NOTED OTHERWISE, ALL DIMENSIONS ARE TO FACE OF WALLS UNLESS NOTED OTHERWISE.
- 8. DO NOT SCALE DIMENSIONS FROM DRAWINGS. CONSULT WITH GENERAL CONTRACTOR AND/OR DESIGNER FOR VERIFICATION.

SHEET	TITLE	EXISTING/DEMOLITION PLAN
	DRAWN BY	TERRY
A3	DATE	10-31-2022
	SCALE	1/4" = 1'-0"

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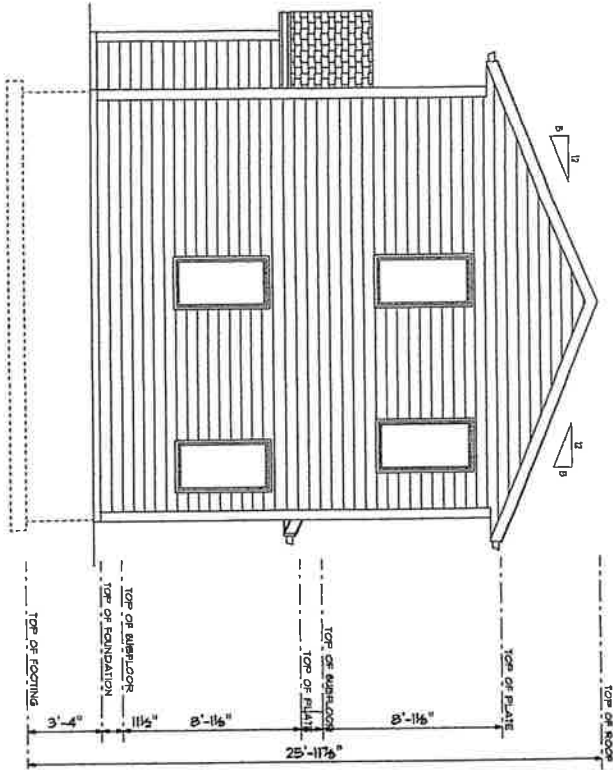
412 KETTLE WOODGE DRIVE, E.
 TILGNER WIS. 53095
 608-733-7500
 E-MAIL: KEMMEL@HOMEDESIGNS.COM

KETTLE WOODGE HOME
KMH
 DESIGN SERVICES, LLC

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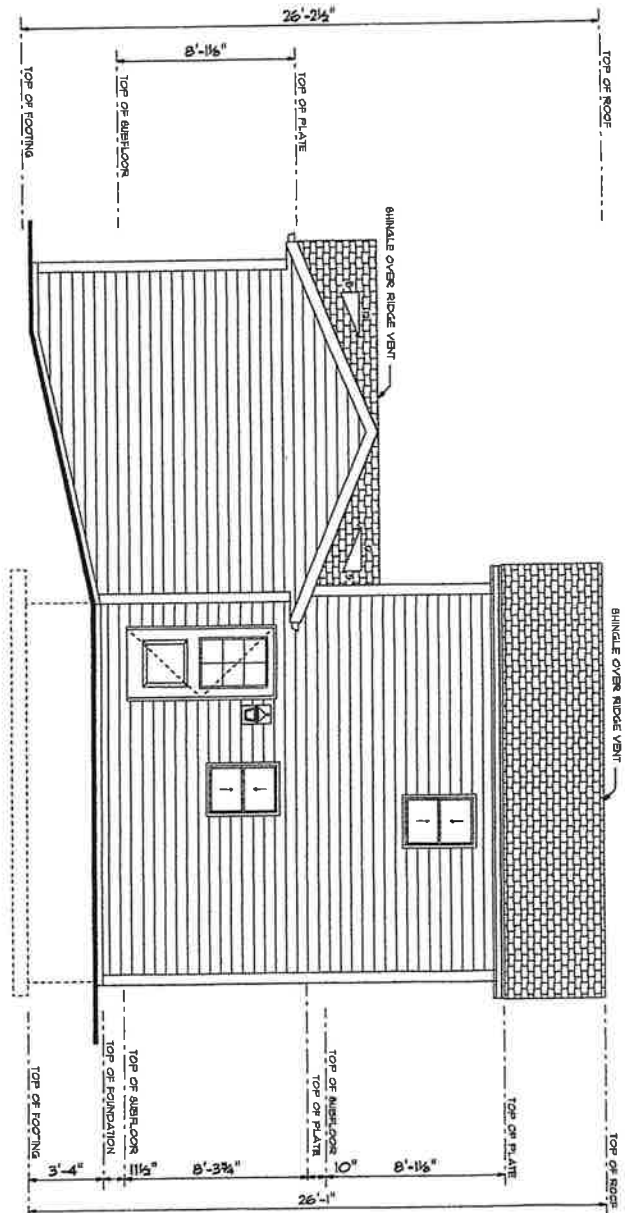
EAST ELEVATION

SCALE: 1/4" = 1'-0"



SOUTH ELEVATION

SCALE: 1/4" = 1'-0"



LELAND CONST., LLC

**CARPENTER COTTAGE
N 4999 LAKE DRIVE
HUSTISFORD, WI. 53034**

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60 KITTLE HOLLOW DRIVE, L
SUNSHINE WIS. 53044
414-770-7143
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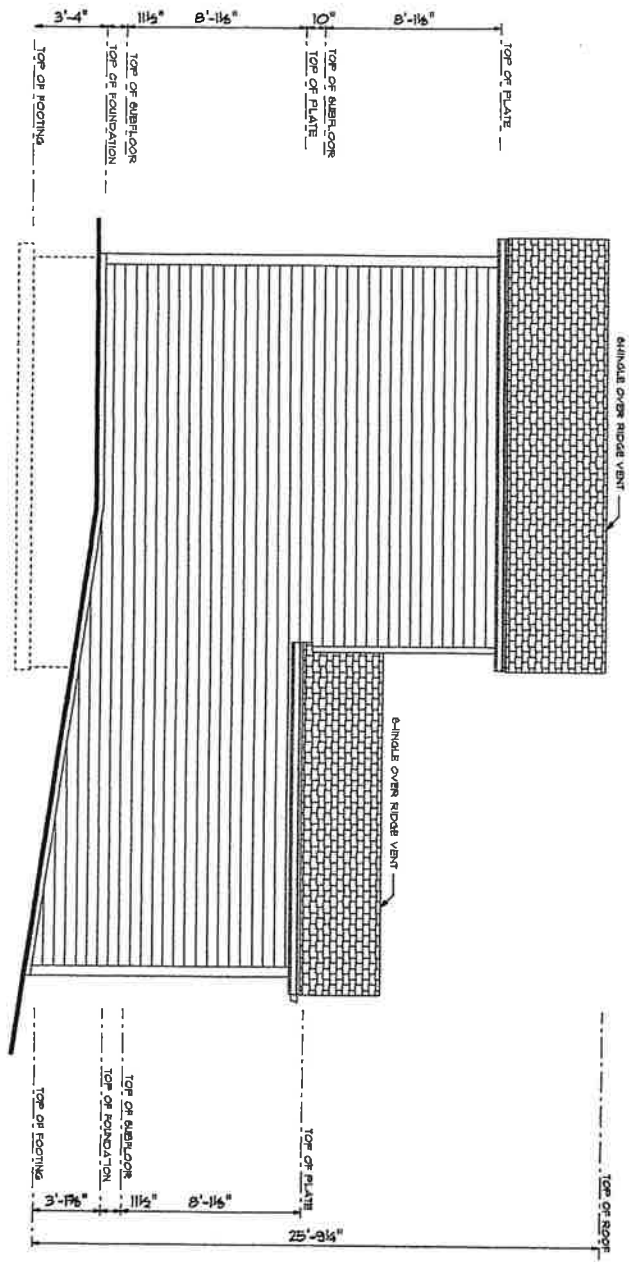
KITTLE HOLLOW HOME

KMH

DESIGN SERVICES, LLC

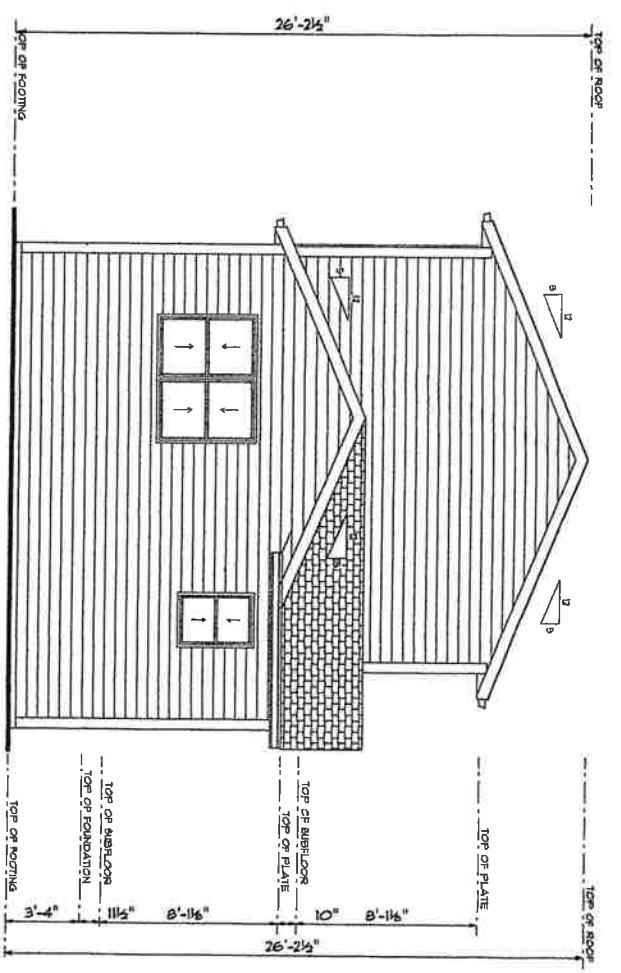
CONTRACT DOCUMENT NO. 10
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10. CONTRACT DOCUMENT NO. 10

AT	TITLE		ELEVATIONS
	DRAWN BY	DATE	
	SCALE	REV.	
	TERRY	10-31-2022	
	1/4" = 1'-0"		



NORTH ELEVATION

SCALE: 1/4" = 1'-0"



WEST ELEVATION

SCALE: 1/4" = 1'-0"

AS	TITLE		ELEVATIONS	
	DRAWN BY	DATE	REV.	
	TERRY	10-11-2022		
	SCALE	1/4" = 1'-0"		

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KITTLE HOLLOW HOME
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ROW SETBACK

LRP QMap



11/22/2022, 10:12:52 AM

- ▲ Site Addresses (Unincorporated Areas)
- ▲ Site Addresses (Incorporated Areas)
- Driveways
- Annotation Lines
- Parcel Boundaries
- GAP
- OVERLAP
- Right of Way
- PARCEL
- CSM Boundaries
- CSM Lots

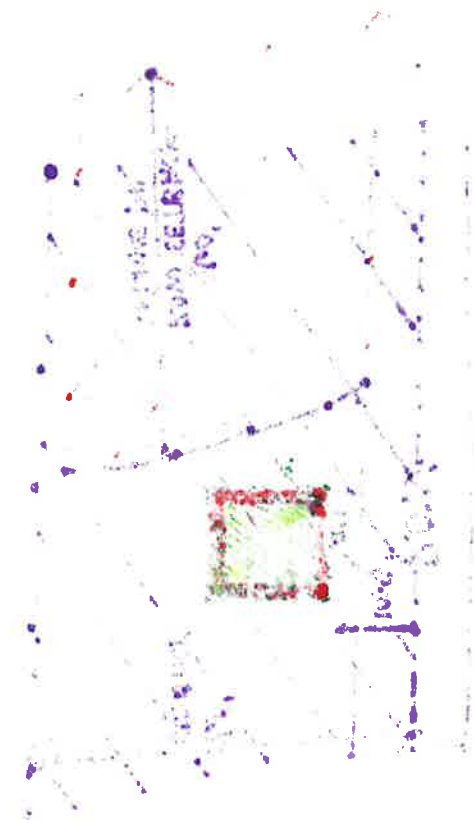


Lake Dr. Highway Setback 60' C/L
 Proposed Project
 SETBACK ROW North of Lot 3333-003 60' C/L

NO. 117
FAL 222-008
MAY 1902
DELECK



NO. 117
FAL 222-008
MAY 1902
DELECK



DELECK

OHWM SETBACKS

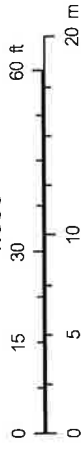
LRP QMap



11/22/2022, 10:12:52 AM

- ▲ Site Addresses (Unincorporated Areas)
- ▲ Site Addresses (Incorporated Areas)
- Driveways
- OHWM SETBACK
- Proposed Project
- Reduced Water Setback
- 66.75'
- ~14' to house ~30' to N. corner of proposed project
- Annotation Lines
- Parcel Boundaries
- Right of Way
- GAP
- OVERLAP
- PARCEL
- CSM Boundaries
- CSM Lots

1:360



Dodge County Land Resources & Parks





32'
to OHWM

17' 1/2"

26' to OHWM
to proposed

13'
to well

1935
1936



Terrance & Kathleen Carpenter

Town of Hubbard, Sec. 13

This map is a compilation of data from various city, county, and state sources. This map is only for informational purposes and may not be used for legal purposes. Dodge County assumes no liability for any errors or omissions of this information.



T. & K. CARPENTER

LAKE DR

3333-002
CARPENTER

3333-008
PRESCHER
0.4 ac

