

## Land Resources and Parks Department Staff Report

### Town Rezoning Petition # 2017-0909

**Owner:**

Diana, Keith, Dawn, Kerry, Kip, and Kyle Minnameier, Dena Weihert  
N1608 County Road BB  
Reeseville, WI 53579

**Filing Date: November 6, 2017**

**Committee Review Date: November 20, 2017**

**Property Location**

PIN# 036-0913-1414-000

Property Location: Part of the SE ¼ of the NE ¼, Section 14, Town of Portland, the site address being N1608 County Road BB.

**Applicants Request**

A petition to rezone approximately 3-acres of land from the A-1 Farmland Preservation Zoning District to the A-2 General Agricultural Zoning District has been submitted by the Town of Portland Town Board to the Dodge County Board of Supervisors for approval.

**Land Use Code Provisions:**

According to 60.62(3) Wisconsin Statutes, in counties having a county zoning ordinance, no Town zoning ordinance or amendment of a Town zoning ordinance may be adopted under this section unless approved by the county board. The Planning Committee is responsible for reviewing Town rezoning amendment requests and for recommending that the County Board of Supervisors approve or deny such petitions.

**Physical Features of Site**

**The features of the property that relate to the granting or denial of the rezoning petition are as follows:**

The proposed lots are not located within the County's Zoning Jurisdiction.

The proposed lots are not located within the floodplain district.

The topography of the site is rolling with slopes ranging from 0 to 18%;

Land Use, Site: Residential, agricultural and open space wooded lot.

Land Use, Area: Agricultural with scattered residences along County Road BB.

Designated Archaeological Site:    Yes             No

The proposal is consistent with the Dodge County Comprehensive Plan:

- The site is designated as agricultural according to the County's Future Land Use Map which can include a limited amount of residential development, but where the predominant land use would be agricultural in nature.

**STAFF ADVISORY:**

***This staff advisory is only advice to the Planning, Development and Parks Committee. The Committee may or may not consider the advice of the staff and decision making authority is vested in the Committee only.***

**Town Rezoning Petition**

The staff believes that the Town Board has followed the proper procedures outlined in their Zoning Ordinance in order to approve the rezoning request. In addition, the proposed rezoning petition is consistent with the County's Comprehensive Plan as the site is designated as general agriculture which may allow for limited residential development. Therefore, staff recommends the committee report favorably on the town rezoning petition.

**Dodge County Planning, Development and Parks Committee Decision**

**Town Rezoning Petition # 2017-0909**

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**CONCLUSIONS OF LAW**

**Based upon the facts presented in the application and by the County staff, the committee concludes that:**

**Does the application contain sufficient information necessary to make a decision on the Town rezoning petition?**

- Yes
- No - The following additional information is required:

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**Is there sufficient evidence in the record to show that the town has followed the proper procedures in order to recommend approval of the town rezoning petition?**

- Yes – According to the information on record in this matter, the Town has followed the proper procedures in order to approve the Town rezoning petition;
- No; based on the information submitted with the application, it appears that the town did not follow the proper procedures in approving the rezoning petition.

Comments

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Motion by \_\_\_\_\_ to submit a (favorable / unfavorable) recommendation to the County Board regarding the town rezoning petition based upon the previously mentioned findings.

Motion second \_\_\_\_\_

**Vote**

Allen Behl	<input type="checkbox"/> Yes	<input type="checkbox"/> No	<input type="checkbox"/> Abstain	<input type="checkbox"/> Not Present
Janice Bobholz	<input type="checkbox"/> Yes	<input type="checkbox"/> No	<input type="checkbox"/> Abstain	<input type="checkbox"/> Not Present
William Muche	<input type="checkbox"/> Yes	<input type="checkbox"/> No	<input type="checkbox"/> Abstain	<input type="checkbox"/> Not Present
Joseph Marsik	<input type="checkbox"/> Yes	<input type="checkbox"/> No	<input type="checkbox"/> Abstain	<input type="checkbox"/> Not Present
Tom Schaefer - Chairman	<input type="checkbox"/> Yes	<input type="checkbox"/> No	<input type="checkbox"/> Abstain	<input type="checkbox"/> Not Present

**Motion (Carried / Denied)**

Dodge County Planning, Development and Parks Committee

Signed \_\_\_\_\_ Attest \_\_\_\_\_  
Chairperson Secretary

Dated: \_\_\_\_\_

Filed: \_\_\_\_\_

RESOLUTION NO. \_\_\_\_\_

TO THE HONORABLE BOARD OF SUPERVISORS OF DODGE COUNTY, WISCONSIN

WHEREAS, Dodge County, a Body Corporate under the laws of the State of Wisconsin has adopted a comprehensive Zoning Ordinance which is in full force and effect, and


WHEREAS, the Town Board of Portland has adopted a Town Zoning Ordinance for said town, the power to adopt a Town Zoning Ordinance having been granted by referendum vote of the electors of the Town of Portland held at the time of a regular annual Town meeting, and

WHEREAS, pursuant to Section 60.62(3) of the Wisconsin Statutes adoption and amendment of a town zoning ordinance by a town board is subject to approval of the County Board in counties having a zoning ordinance in force and effect, and

WHEREAS, a public hearing as to the proposed amendment to the Town Zoning Ordinance of the Town of Portland was held by the Town Planning Commission of the Town of Portland on October 11, 2014 and the proposed amendment to the Zoning Ordinance of the Town of Portland having been adopted by the Town Board of the Town of Portland on October 19, 2014

THEREFORE BE IT RESOLVED: That the amendment to the Town Zoning Ordinance of the Town of Portland as represented by "Exhibit A" attached to and made a part of this resolution be and hereby is approved, by the Board of Supervisors of Dodge County, Wisconsin.

All of which is respectfully submitted this \_\_\_\_ day  
of \_\_\_\_\_, 20\_\_ .

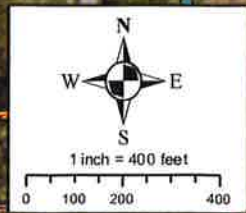
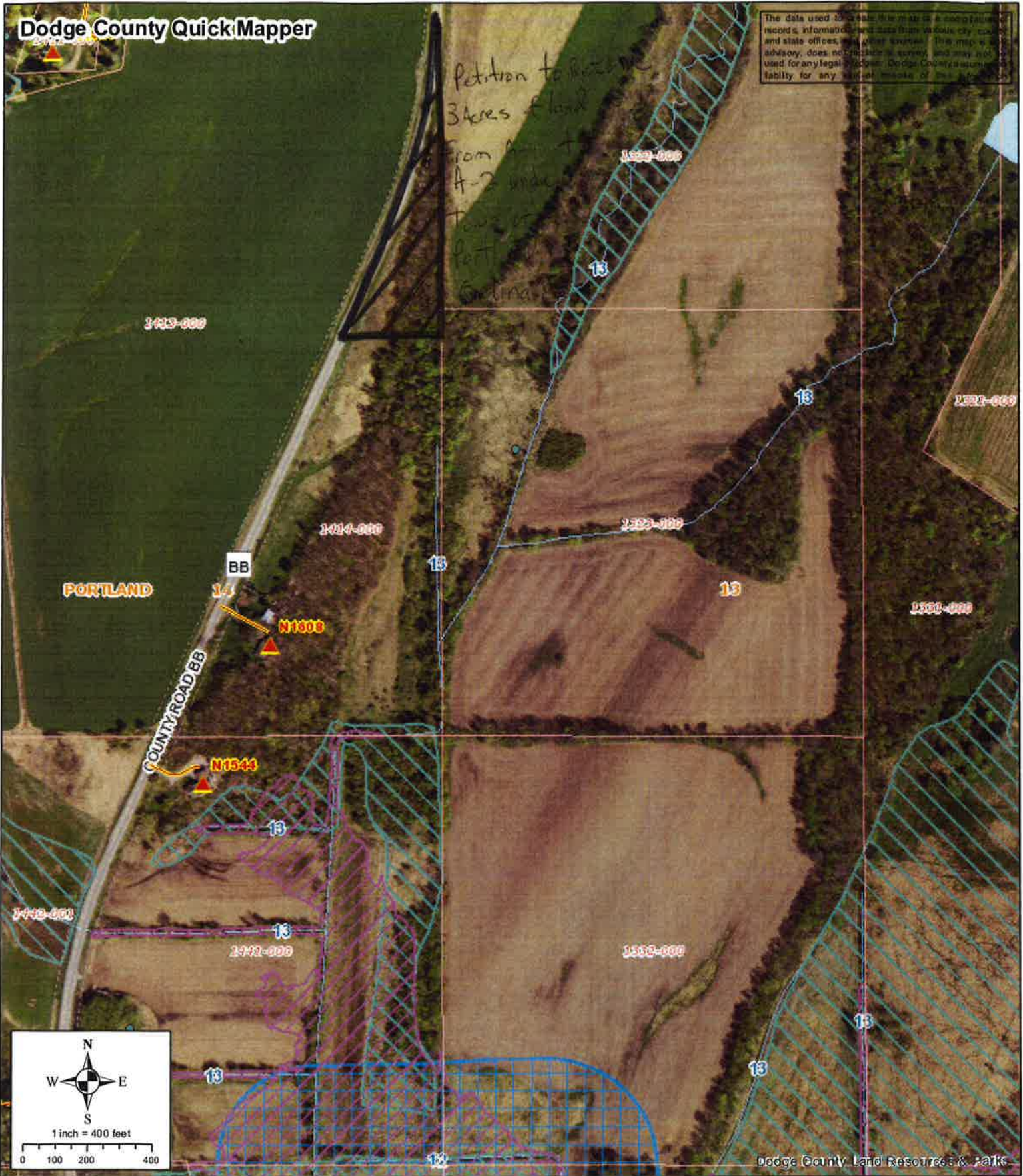
  
\_\_\_\_\_

JEFF BERRES , Supervisor

# Dodge County Quick Mapper

The data used for this Quick Mapper is a compilation of records, information and data from various city, county and state offices, and other sources. This map is for advisory, does not constitute a survey, and may not be used for any legal purposes. Dodge County is not liable for any errors or omissions of this Quick Mapper.

Petition to Rezone  
3 Acres of land  
From A-2 under  
to  
General  
Commercial



Dodge County Land Resources & Parks

General	Floodplain/Wetland	COUNTY ZONING	
Urbanized Roads	Floodplain (May 19th 2014)	PLANNED UNIT DEVELOPMENT	GENERAL COMMERCIAL
Soils	Flood Storage Areas (2014)	HARTFORD EXTRATERRITORIAL	EXTENSIVE COMMERCIAL
Airport Ordinance 3-Mile Buffer	DNR Wetland (2006)	GENERAL AGRICULTURAL	LIGHT INDUSTRIAL
Sewer Service Areas	DNR Wetland Points (2006)	PRIME AGRICULTURAL	INDUSTRIAL
Elevation Contours (2' & 10')		ONE FAMILY RESIDENTIAL	CITY OR VILLAGE
		TWO FAMILY RESIDENTIAL	RIGHT OF WAY
		MULTI-FAMILY RESIDENTIAL	WATERBODY
<b>WI Historical Society</b>	<b>Shoreland Zoning</b>		
Historic Structures	Lake/Pond/Slough Buffer		
Archaeological Sites	Lakes/Ponds/Sloughs		
Survey Areas	Rivers/Streams/Creeks		
	Horicon Marsh (860' Contour)		

# Land Resources and Parks Department Staff Report

## County Conditional Use Permit Application # 2017-0803

### **Applicant / Owner:**

Deanna Peterson – Dorbritz  
W1357 Adams Road  
Neosho, WI 53059

**Filing Date: October 3, 2017**

**Hearing Date: November 20, 2017**

### **Location**

PIN#: 002-0917-0311-000

Location: Part of the NE ¼ of the NE ¼, Section 3, Town of Ashippun, the site address being W1357 Adams Road.

### **Applicants Request**

An application for a County Conditional Use Permit under the Dodge County Land Use Code, was made by the applicant to allow the establishment of an automotive restoration shop on this site within the A-2 General Agriculture zoning district.

### **Project Details**

The existing 16' X26' shed on this site will be expanded to 26' X 60'. They are also proposing to establish an automotive restoration shop within the shed. The owner will be the only employee. Hours of operation will be 7AM to 5PM, Monday through Friday. No outside lighting is planned. There will be no store front and no customer parking, only scheduled vehicle drop off and pick up. No sanitary facilities are planned, as the owner will use the house facilities. Hazardous waste will be handled with individual approved containers which will be hauled away with a waste disposal contractor where applicable. No additional landscaping is being planned for this site.

### **County Jurisdiction**

The County has Zoning Jurisdiction over this site as the Town of Ashippun has adopted the County's Land Use Code. The County also has Shoreland Jurisdiction over this site as the site is located within 300 feet of a regulated waterway.

### **Review Criteria**

1. Subsections 2.3.6.A through 2.3.6.H of the Land Use Code details procedural matters, the approval criteria and the form for the conditional use permit application. The Committee shall authorize the Land Use Administrator to issue a Conditional Use Permit (CUP) for conditional uses after review and a public hearing, provided that such conditional uses or structure are found to be in accordance with the purpose and intent of this Code and the approval criteria provided in Section 2.3.6.F and are found not to be hazardous, harmful, offensive, or otherwise adverse to the environment or the value of the area.

### **Land Use Code Provisions:**

1. Section 3.6 and Table 3.6-1 of the Land Use Code identifies "Auto repair shops" as a conditional use in the A-2 General Agricultural Zoning District.

**Purpose Statement**

The purpose of the A-2 General Agricultural Zoning District is to promote areas for agriculture which are transitional, allowing for expansion of urban areas limited to rural residential development, and the conversion of agricultural land to other related uses, subject to appropriate standards.

**Physical Features of Site**

**The features of the proposed construction and property that relate to the granting or denial of the conditional use permit request are as follows:**

The site is located within the A-2 General Agricultural Zoning District.

Portions of the property are located within the Shoreland Wetland District and are designated as wetlands.

Portions of the property are located within the Floodplain District;

The topography of the site is gently rolling with slopes ranging from 0 to 6%;

The proposed shed location is screened from the neighbor to the west and south by mature pine trees

Land Use, Site: Residential

Land Use, Area: Agricultural and residential.

Designated Archaeological Site:    Yes             No

Town Recommendation:    Approve             Deny             No recommendation submitted



**STAFF ADVISORY:**

***This staff advisory is only advice to the Planning, Development and Parks Committee. The Committee may or may not consider the advice of the staff and decision making authority is vested in the Committee only.***

The staff has reviewed the proposal for compliance with the criteria listed in Sections 2.3.6.F of the code. The staff comments are listed in Exhibit A for review by the committee.

It is the staff's position that the project is in compliance with the applicable provisions of the Dodge County Land Use Code and the staff believes that the Committee can make the findings necessary under Section 2.3.6.F of the code that are required to approve the Conditional Use Permit for this project. If approved with the following conditions, the staff believes that the project will not have an adverse effect on the adjacent land owners, the community or the environment and the proposal will be consistent with the purpose and intent of the Code.

**CONDITIONS:**

1. The operation shall be conducted without offensive noise, vibration, dust, smoke, odor, glare, lighting or the risk of fire, explosion or other accident and shall not be detrimental to the public health and safety or general welfare of the immediate neighborhood or community.
2. A land use permit shall be obtained for the proposed shed expansion project.
3. It shall be the responsibility of the applicant to obtain all other Federal, State and/or local municipality permits and approvals that may be required for the proposed automotive restoration business operation on this site.
4. The business shall be operated in accord with the business narrative submitted with the Conditional Use Permit application.
5. There shall be no motor vehicle sales or rentals on this site.
6. There shall be no outside storage of materials, hazardous waste, equipment, machinery, unlicensed vehicles or salvage materials associated with the business operation on this site.
7. All salvage materials generated from the operation of this business shall be disposed of in accord with the applicable regulations.
8. All exterior lighting shall meet the functional and security needs of the proposed development without adversely affecting adjacent properties.
9. All hazardous wastes used or generated in the operation of the proposed business shall be disposed of in accord with the applicable regulations.
10. Any significant change to or expansion of the business operation and/or of its facilities may require that a new Conditional Use Permit be obtained.
11. The decision of the Committee is valid for one year.

## EXHIBIT A

### **Staff Review Comments**

The staff has reviewed the proposal for compliance with the criteria listed in Section 2.3.6.F of the code. The staff comments are as follows:

**2.3.6.F.2** Is the project compatible with adjacent uses in terms of scale, site design, operating characteristics (hours of operation, traffic generation, lighting, noise, odor, dust, and other external impacts);

- It is the staff's position that if the project is constructed in compliance with the development standards of the code and there is no outside storage of automobiles, machinery or parts from the business, the proposal will be compatible with the adjacent uses;

**2.3.6.F.3** Will the proposed use be significantly detrimental to the public health, safety, and welfare?

- It is the staff's position that if the project is constructed in compliance with the development standards of the code, and there is no outside storage of automobiles, machinery or parts from the business the proposal will not have a significant detrimental impact on the adjacent properties or the community;

**2.3.6.F.4** Will the project cause substantial diminution in value of other property in the neighborhood in which it is to be located;

- It is the staff's position that the project will not have an adverse impact on the value of other property in the area;

**2.3.6.F.5** Are public safety, transportation and utility facilities and services available to serve the subject property while maintaining sufficient levels of service for existing development?

- It is the staff's position that there are adequate public facilities to serve the property;

**2.3.6.F.6** Are there adequate assurances of continuing maintenance for the project?

- It is the staff's position that there adequate assurances of continuing maintenance for the project;

**2.3.6.F.7** Will any significant adverse impacts on the natural environment be mitigated to the maximum practical extent?

- It is the staff's position that any significant adverse impacts on the natural environment will be mitigated to the maximum practical extent;

**2.3.6.F.8** The proposed use will not be located in any hazard areas, including floodplains, floodways, etc., unless any potential danger is mitigated to the maximum extent possible, and to the satisfaction of the Wisconsin Department of Natural Resources;

- It is the staff's position that the proposed use will not be located in any hazard areas, including floodplains, floodways, etc.

**2.3.6.F.1** Does the proposed project comply with all applicable provisions of this Code;

- It is the staff's position that the proposed project complies with the applicable provisions of the code;

**Dodge County Planning, Development and Parks Committee Decision**

**County Conditional Use Permit Application # 2017-0803**

**Applicant / Owner:**

Deanna Peterson – Dorbritz  
W1357 Adams Road  
Neosho, WI 53059

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**Project Details**

The existing 16' X26' shed on this site will be expanded to 26' X 60'. They are also proposing to establish an automotive restoration shop within the shed. The owner will be the only employee. Hours of operation will be 7AM to 5PM, Monday through Friday. No outside lighting is planned. There will be no store front and no customer parking, only scheduled vehicle drop off and pick up. No sanitary facilities are planned, as the owner will use the house facilities. Hazardous waste will be handled with individual approved containers which will be hauled away with a waste disposal contractor where applicable. No landscaping is being planned for this site.

**CONCLUSIONS OF LAW**

**Based on the facts presented in the application and at the public hearing the Committee concludes that:**

**2.3.6.F General Approval Criteria for Conditional Use Permits**

Conditional Use Permits shall be approved by the Committee if they find that all of the following criteria have been met:

**2.3.6.F.2** Is the project compatible with adjacent uses in terms of scale, site design, operating characteristics? (hours of operation, traffic generation, lighting, noise, odor, dust, and other external impacts);

(Yes / No)

If not, what measures can be taken to mitigate any potential conflicts?

\_\_\_\_\_

\_\_\_\_\_

**2.3.6.F.3** Will the proposed use be significantly detrimental to the public health, safety, and welfare?

(Yes / No)

If yes, what measures can be taken to mitigate the potential detrimental impacts?

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**2.3.6.F.4** Will the project cause substantial decrease in value of other property in the neighborhood in which it is to be located;

(Yes / No)

If yes, what measures can be taken to mitigate the decrease in the value of the properties?

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**2.3.6.F.5** Are public safety, transportation and utility facilities and services available to serve the subject property while maintaining sufficient levels of service for existing development?

(Yes / No / Not Applicable)

If not, what can be done to ensure facilities and services will be available?

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**2.3.6.F.6** Are there adequate assurances of continuing maintenance for the project?

(Yes / No/ Not Applicable)

If no, what measures can be taken to ensure continued maintenance?

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**2.3.6.F.7** Will there be any significant adverse impacts on the natural environment that require mitigation?

(Yes / No)

If yes, what measures can be taken to mitigate the potential adverse impacts on the environment?

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**2.3.6.F.8** Is the project located in any hazard areas? (floodplains, floodways, steep slopes, etc)

(Yes / No)

If yes, are there any measures that need to be taken to mitigate any potential dangers?

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**2.3.6.F.1** Does the proposed project comply with all applicable provisions of this Code for the A-2 General Agricultural Zoning District?

(Yes / No)

If not, what changes must be made to bring the project into compliance with the code?

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**Are any conditions for approval needed in this case to mitigate any potential adverse impacts on the adjacent properties, the environment or the community?**

(Yes/No)

1. The operation shall be conducted without offensive noise, vibration, dust, smoke, odor, glare, lighting or the risk of fire, explosion or other accident and shall not be detrimental to the public health and safety or general welfare of the immediate neighborhood or community.
2. A land use permit shall be obtained for the proposed shed expansion project.
3. It shall be the responsibility of the applicant to obtain all other Federal, State and/or local municipality permits and approvals that may be required for the proposed automotive restoration business operation on this site.
4. The business shall be operated in accord with the business narrative submitted with the Conditional Use Permit application.
5. There shall be no motor vehicle sales or rentals on this site.
6. There shall be no outside storage of materials, hazardous waste, equipment, machinery, unlicensed vehicles or salvage materials associated with the business operation on this site.
7. All salvage materials generated from the operation of this business shall be disposed of in accord with the applicable regulations.
8. All exterior lighting shall meet the functional and security needs of the proposed development without adversely affecting adjacent properties.
9. All hazardous wastes used or generated in the operation of the proposed business shall be disposed of in accord with the applicable regulations.
10. Any significant change to or expansion of the business operation and/or of its facilities may require that a new Conditional Use Permit be obtained.
11. The decision of the Committee is valid for one year.

Others

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Does the committee believe that the Conditional Use Permit Request meets the approval criteria in Section 2.3.6.F of the County Land Use Code? (Yes / No)

Motion by \_\_\_\_\_ to approve the conditional use permit request based upon the previously mentioned findings and conditions.

Motion second \_\_\_\_\_

**Vote**

Allen Behl	<input type="checkbox"/> Yes	<input type="checkbox"/> No	<input type="checkbox"/> Abstain	<input type="checkbox"/> Not Present
Janice Bobholz	<input type="checkbox"/> Yes	<input type="checkbox"/> No	<input type="checkbox"/> Abstain	<input type="checkbox"/> Not Present
William Muche	<input type="checkbox"/> Yes	<input type="checkbox"/> No	<input type="checkbox"/> Abstain	<input type="checkbox"/> Not Present
Joseph Marsik	<input type="checkbox"/> Yes	<input type="checkbox"/> No	<input type="checkbox"/> Abstain	<input type="checkbox"/> Not Present
Tom Schaefer - Chairman	<input type="checkbox"/> Yes	<input type="checkbox"/> No	<input type="checkbox"/> Abstain	<input type="checkbox"/> Not Present

**Motion (Carried / Denied)**

**ORDER AND DETERMINATION**

On the basis of the above findings of fact, conclusions of law and the record in this matter the committee

- Granted preliminary approval of the conditional use permit subject to the conditions listed above and the Land Use Administrator is directed to issue a conditional use permit incorporating the decision of this Committee.
- Granted the conditional use permit request as proposed and the Land Use Administrator is directed to issue a conditional use permit incorporating the decision of this Committee.
- Denied the conditional use permit request as proposed. The committee finds that the proposal does not meet the following approval criteria of the code:  
\_\_\_\_\_

Expiration of Approval. Any order issued by the Committee requiring a Zoning official to issue a conditional use permit shall become void after one year unless the applicant or appellant shall have met the conditions of approval for such permit and a conditional use permit has been issued by the Zoning official within such time, provided, that the time may be extended when so specified by the Committee.

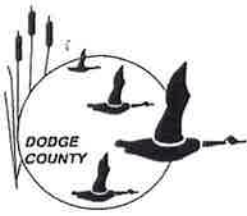
Revocation. This order may be revoked by the Committee in accord with Section 11.4.4 of the Dodge County Land Use Code after notice and opportunity to be heard for violation of any of the conditions imposed.

Appeals. This decision may be appealed by any person or their agent aggrieved by this decision or by any officer, department, board or bureau of the County, or by any affected town board. Such appeals shall be filed with the Dodge County Land Resources and Parks Department or the review and decision making body from whom the appeal is taken within 30 days after the date of written notice of the decision or order of the review and decision making body. The County assumes no liability for and makes no warranty as to reliance on this decision if construction is commenced prior to expiration of this 30-day period.

Dodge County Planning, Development and Parks Committee

Signed \_\_\_\_\_ Attest \_\_\_\_\_  
Chairperson Secretary

Dated: \_\_\_\_\_ Filed: \_\_\_\_\_



**DODGE COUNTY**  
**LAND RESOURCES & PARKS DEPARTMENT**  
 127 E. OAK STREET • JUNEAU, WI 53039  
 PHONE: (920) 386-3700 • FAX: (920) 386-3979  
 E-MAIL: landresources@co.dodge.wi.us

**CONDITIONAL USE PERMIT  
 APPLICATION**

THIS AREA FOR OFFICE USE ONLY	
<b>Activity No.</b> <b>170803</b>	<b>Permit Issued Date</b>
<b>Application Date:</b> <b>10-3-17</b>	<b>Receipt #:</b> <b>0740</b>
	<b>Sanitary Permit #:</b>

**Application Fee: \$350 (After the Fact Application Fee - \$700)**

Please complete page 1 and 2 of this application form and submit the application form with all of the required information listed in the "Application Checklist" for your project. PRINT OR TYPE. Use blue or black ink, do not use pencil. The Dodge County Land Resources and Parks Department will not consider your application unless you complete and submit this application form, the applicable information listed in the "application checklist" for your proposed project and the application fee. Personally identifiable information on this form will not be used for any other purpose, but it must be made available to requesters under Wisconsin's open records law [s.19.31-19.39, Wis. Stats.].

(1) NAMES & MAILING ADDRESSES	(2) PROPERTY DESCRIPTION				
<b>Applicant (Agent)</b> Deanna Peterson-Dorbritz	<b>Parcel Identification Number (PIN)</b> 002-0917-0311-000				
<b>Street Address</b> W1357 Adams Rd	<b>Town</b> Ashippun		<b>T</b> 9	<b>N</b> 17	<b>R</b> E
<b>City • State • ZipCode</b> Neosho WI 53059	<b>1/4</b> NE	<b>1/4</b> NE	<b>Section</b> 3	<b>Acreage</b> 1.530	<b>Lot (Block)</b>
<b>Property Owner (if different from applicant)</b>	<b>Subdivision or CSM (Volume/Page/Lot)</b> V802 P829				
<b>Street Address</b>	<b>Address Of Property (DO NOT include City/State/ZipCode)</b> W1357 Adams Rd				
<b>City • State • ZipCode</b>	<b>Is this property connected to public sewer?</b> <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No				

(3) PROPERTY USE	(4) PROPOSED PROJECT
<b>Current Use Of Property</b>	<b>(Please check/complete all that apply below)</b>
<input type="checkbox"/> Vacant Property <input checked="" type="checkbox"/> Single-Family Residential <input type="checkbox"/> Active-Working Farm Operation <input type="checkbox"/> Business • Industrial • Commercial • (Describe below) Other _____	<input type="checkbox"/> Non-Farm Residential Lot <input type="checkbox"/> Single Family Residence <input type="checkbox"/> Two-Family Residence <input type="checkbox"/> Multi-Family Residence <input type="checkbox"/> Tavern or Restaurant <input type="checkbox"/> Professional Office <input type="checkbox"/> Non-Metallic Mine/Quarry <input type="checkbox"/> Wind Tower <input checked="" type="checkbox"/> Create/Expand Business <input type="checkbox"/> Wildlife Pond > 2-acres <input type="checkbox"/> Wireless Communications Tower <input type="checkbox"/> Contractor's Offices and Storage Yards <input type="checkbox"/> Filling, Grading or Dredging in the Shoreland District Other: _____
<b>DNR Notice</b>	
<b>DNR NOTICE:</b> You are responsible for complying with State and Federal laws concerning construction on or near wetlands, lakes and streams. Wetlands that are not associated with open water can be difficult to identify. Failure to comply may result in removal or modification of construction that violates the law or other penalties or costs. For more information, visit the Department of Natural Resources Wetlands Identification Web Page ( <a href="http://www.dnr.state.wi.us">www.dnr.state.wi.us</a> ) or contact a Department of Natural Resources Service Center.	

**(5) CERTIFICATE**

I, the undersigned, hereby apply for a Conditional Use Permit and certify that all the information both above and attached is true and correct to the best of my knowledge. I affirm that I have read the DNR Notice shown above. I affirm that all work performed will be done in accordance with the Dodge County Land Use Code and with all other applicable laws and regulations. I hereby authorize members of the Dodge County Land Resources and Parks Department to enter the above-described property for purposes of obtaining information pertinent to my application request and to conduct land use code inspections.

Signature Deanna Peterson-Dorbritz Date 10-2-17

Daytime Contact Number (262) 269-6194

**AREA BELOW THIS LINE FOR OFFICE USE ONLY**

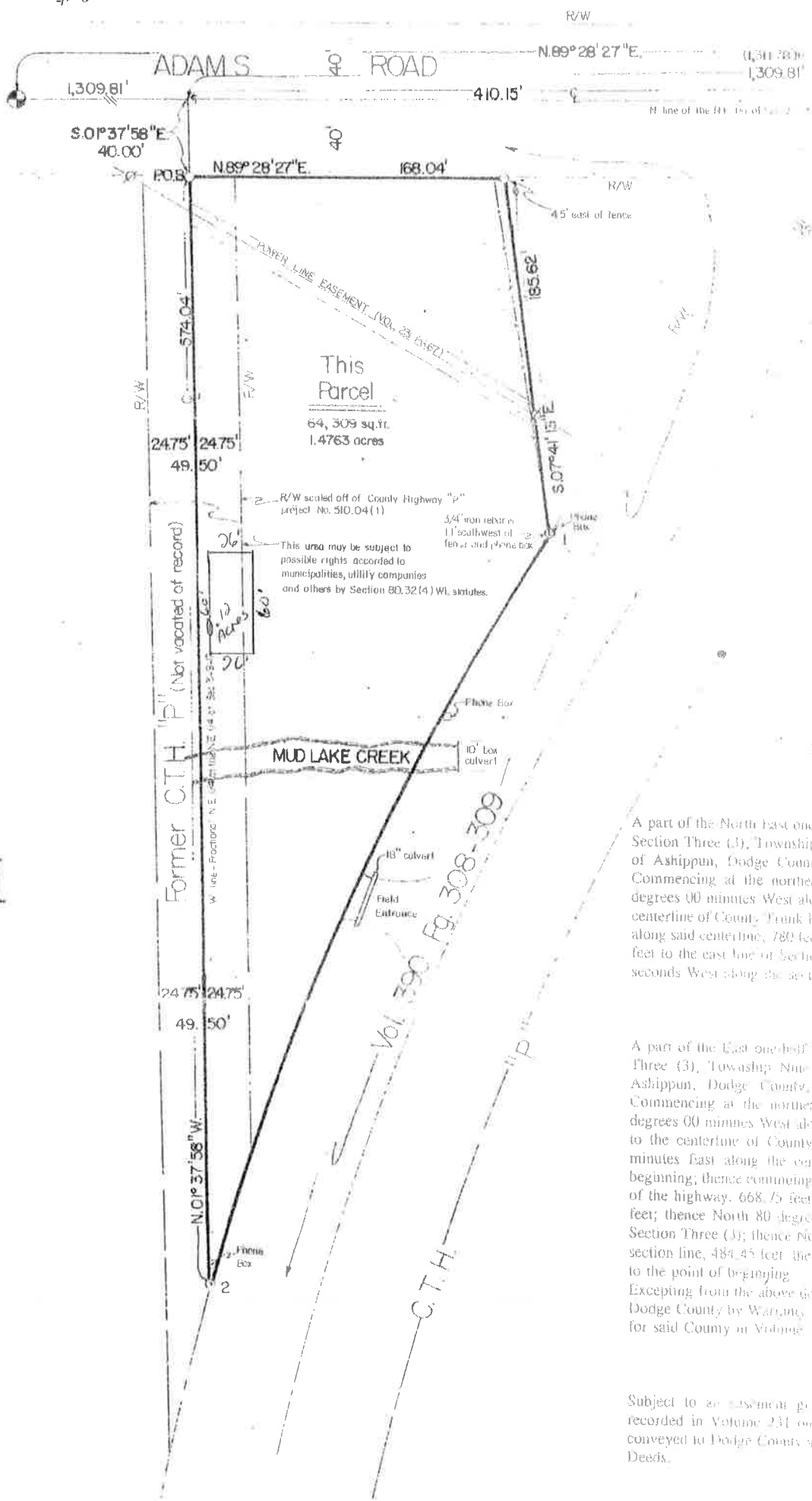
**PLANNING, DEVELOPMENT & PARKS COMMITTEE ACTION**

Date of Decision \_\_\_\_\_ Decision \_\_\_\_\_

<input type="checkbox"/> <b>APPROVED</b>	CONDITIONS	Land Resources and Parks Department
<input type="checkbox"/> <b>DENIED</b>		Date: _____

Item #2

N. 1/4 Cor.  
Sec. 3-9-17



This Parcel  
64,309 sq. ft.  
1.4763 acres

R/W scaled off of County Highway "P"  
project No. 510.04(1)

This area may be subject to possible rights accorded to municipalities, utility companies and others by Section 80.32(4) WI. statutes.

A part of the North East one quarter Section Three (3), Township Nine (9) of Ashippun, Dodge County, Wis. Commencing at the northeast corner degrees 00 minutes West along the centerline of County Trunk Highway along said centerline, 780 feet; thence feet to the east line of Section Three seconds West along the section line

A part of the East one-half of the Section Three (3), Township Nine (9) of Ashippun, Dodge County, Wis. Commencing at the northeast corner degrees 00 minutes West along the centerline of County Trunk Highway, 668.75 feet; thence continuing South of the highway, 668.75 feet; thence North 80 degrees 51 minutes East along the centerline of the section line, 484.45 feet; thence East to the point of beginning.

Excepting from the above description Dodge County by Warranty Deed for said County in Volume 230 at page 100.

Subject to easement granted & recorded in Volume 231 on page 100, conveyed to Dodge County as a road Deeds.



### Conditional Use Permit Items

1. Operators/Owners:

Tyler Dorbritz 262-225-1111

Deanna Peterson-Dorbritz 262-269-6194

W1357 Adams Road

Neosho, WI 53059

2. See attachment
3. See attachment
4. See attachment. No off-street parking, driveway, exterior light, or signs are needed.
5. See attachment.
6. Narrative: We would like to open a small one person automotive restoration shop at our residence at W1357 Adams Road, Neosho, WI 53059-Town of Ashippun. The hours of operation would be 7AM-5PM M-F. No employees would be hired. Tyler would own/operate the business and would be sole worker.

We would expand our existing 16' x 24' shed to 26' x 60' to be the shop.

No outside lighting or signs would be used. No store front, no customer in/out parking/traffic. Only scheduled vehicle drop off.

No sanitary facilities are proposed or needed since Tyler would utilize the house facilities.

Hazardous waste will be in approved containers and will be hauled away with a waste disposal contractor where applicable/necessary.

7. No landscaping besides the existing home landscaping.

#4

1" = 50'

S

R/W

Cor. 3-17

ADAMS ROAD

N. 89° 28' 27" E.

1,309.81'

410.15'

N. line of the N

S. 0° 37' 58" E.  
40.00'

P.O.B.

N. 89° 28' 27" E.

168.04'

R/W

4.5' east of fence

LEACH BED

(Septic Tanks)

(Home)

(16'x24') SHED

R/W

574.04'

24.75'

49.50'

(WELL)

64,309 sq. ft.  
1.4763 acres

Proposed Building

This area may be subject to possible rights accorded to municipalities, utility companies and others by Section 80.32(4) Wi. statutes.

3/4" iron rebar is 1.1' southwest of fence and phone box

Phone Box

222' to Hwy P

(17 Feet off lot line)

Abandoned Per HWY DEPT.  
Former C.T.H. "P" (Not vacated of record)

W. line - Fractional N.E. 1/4 of the NE 1/4 of Sec. 3-9-17

outside of FP per determination dated 11/17/93

Proposed Garage to:  
Deck 22'  
House 46'  
Septic tanks 78'  
Leach Bed 120'  
Well 96'

MUD LAKE CREEK

Phone Box

10" box culvert

18" culvert

Field Entrance

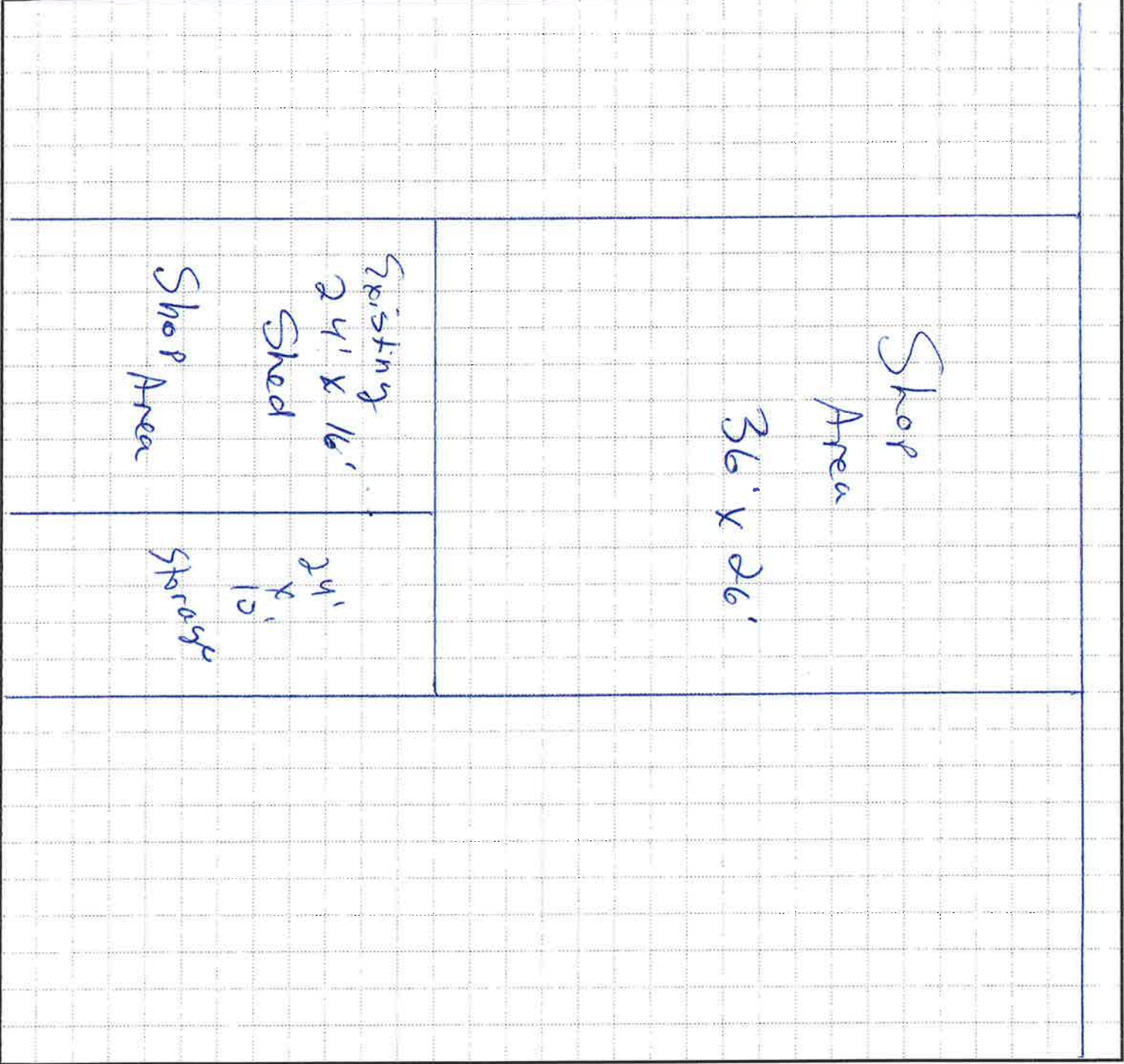
308-309

A part of the Section Three of Ashippur Commencing degrees 00' centerline of

N

# SITE PLAN (SKETCH)

Item #5



↑ N □ = 2ft

See Attached Site Plan (Sketch)

### THIS AREA FOR OFFICE USE ONLY

CUP ID No.	CUP File Date	LRP P/H Date	LRP Decision Date	LRP Decision
				<input type="checkbox"/> Approved <input type="checkbox"/> Approved w/Conditions <input type="checkbox"/> Denied

Notes/Stipulations:

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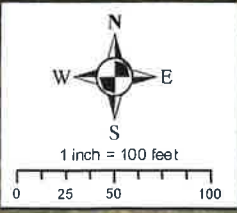
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# Dodge County Quick Mapper

The data used to create this map is a compilation of records, information, and data from various county and state offices, and other sources. This map is only advisory, does not constitute a survey, and may not be used for any legal purpose. Dodge County assumes no liability for any use or misuse of this information.



Dodge County Land Resources & Parks

General		Floodplain/Wetland		COUNTY ZONING	
Urbanized Roads	Floodplain (May 19th 2014)	PLANNED UNIT DEVELOPMENT	GENERAL COMMERCIAL		
Soils	Flood Storage Areas (2014)	HARTFORD EXTRATERRITORIAL	EXTENSIVE COMMERCIAL		
Airport Ordinance 3-Mile Buffer	DNR Wetland (2006)	GENERAL AGRICULTURAL	LIGHT INDUSTRIAL		
Sewer Service Areas	DNR Wetland Points (2006)	PRIME AGRICULTURAL	INDUSTRIAL		
Elevation Contours (2' & 10')	<b>Shoreland Zoning</b>	ONE FAMILY RESIDENTIAL	CITY OR VILLAGE		
<b>WI Historical Society</b>	Lake/Pond/Slough Buffer	TWO FAMILY RESIDENTIAL	RIGHT OF WAY		
Historic Structures	Lakes/Ponds/Sloughs	MULTI-FAMILY RESIDENTIAL	WATERBODY		
Archaeological Sites	Rivers/Streams/Creeks				
Survey Areas	Horicon Marsh (860' Contour)				

Date: 9/26/2017

## Land Resources and Parks Department Staff Report

**County Rezoning Application # 2017-0824**  
**County Conditional Use Permit Application # 2017-0814**

**Applicant (Agent):**

Steve Liverseed – Fat Apple Farm  
W11042 Van Buren Road  
Columbus, WI 53925

**Owner:**

Steve and Nancy Liverseed  
W11042 Van Buren Road  
Columbus, WI 53925

**Filing Date: October 11, 2017**

**Hearing Date: November 20, 2017**

**Location**

PIN# 008-1113-2814-000

Part of the SE ¼ of the NE ¼, Section 28, Town of Calamus, the site address being W11042 Van Buren Road.

**Applicants Request**

The applicant has submitted a request to rezone approximately 39-acres of land from the A-1 Prime Agricultural Zoning District to the A-2 General Agricultural Zoning District, and has submitted a conditional use permit application under the Land Use Code, Dodge County, Wisconsin to allow for the conversion of an existing barn into an event barn venue for weddings, graduation parties and other celebrations.

**Project Details**

The owners are proposing an event barn venue to host weddings, graduation parties and other celebrations on their property. They also have future plans to expand the business to include an apple orchard. The hours of operation will be 11 a.m. the day before the event for set up and until 12:00 p.m. the day following the event. All music will stop by 11:30 p.m. the day of the event. In the case of a non-wedding event the shed will be rented on a hourly basis. They will also do showings by scheduled appointment. The owners and family members will be the only workers, there will be no paid employees.

The shed will be used for the main event space. They are also proposing to construct a separate bathroom and storage facility next to the shed. It will have running water for the caterers and a small space for the bridal party. In addition, they are offering the basement of their house for use by the bridal party. There are two private entrances to the basement. There is porch and motion sensor lighting on the red shed and there will be additional lighting on the outside of the bathroom facility. There is also lighting on the outside of the other sheds for the parking areas. They will rent a dumpster to handle the waste from the facility. There is parking available for 50 cars adjacent to the facility and additional parking is available along the driveway and below the facility if needed. Parking attendants will be made available at the beginning of the event. Each renter must hire a caterer or bring their own food. There will be no food preparation on site.

There is a 6' X 9' sign at the end of the driveway and temporary signs are placed at the intersection of North Salem Road, Van Buren Road and US Highway 151 the day of the event.

No hazardous waste is stored on the site.

## **Land Use Code Provisions**

### **Rezoning Request**

1. Subsections 2.3.4.A through 2.3.4.J of the Land Use Code details procedural matters, the approval criteria and the form for the petition. The Committee must hold a public hearing and report to the County Board. The role of the Town boards in the process is also outlined in this section.
2. Subsection 2.3.4.B states that a petition for rezoning may be made by any property owner in the area to be affected by the rezoning.
3. Section 3.6 and Table 3.6-1 of the Land Use Code identifies wedding/event facilities as a "Public Assembly Area" which are listed as a conditional use in the A-2 General Agriculture Zoning District.
4. The purpose of the A-2 General Agricultural District is to promote areas for agriculture which are transitional, allowing for the expansion of urban areas, limited rural residential development, and the conversion of agricultural land to other related uses, subject to appropriate standards.

### **Conditional Use Permit Request**

1. Subsections 2.3.6a through 2.3.6.e of the Land Use Code details procedural matters, the approval criteria and the form for the conditional use permit application. The Committee may authorize the Land Use Administrator to issue a Conditional Use Permit (CUP) for conditional uses after review and a public hearing, provided that such conditional uses or structure are in accordance with the purpose and intent of this Code and the approval criteria provided in Section 2.3.6.B and are found not to be hazardous, harmful, offensive, or otherwise adverse to the environment or the value of the area.
2. Subsections 2.3.4.A through 2.3.4.J of the Land Use Code details procedural matters, the approval criteria and the form for the petition. The Committee must hold a public hearing and report to the County Board. The role of the Town boards in the process is also outlined in this section.
3. Subsection 6.2.4 states that any commercial development conditionally allowed in the A2 district shall be subject to the following standards:
  - a. The development shall be appropriately screened from any adjoining road/property.
  - b. Traffic generated, lights, noise or hours of operation shall not have a significant adverse impact on opposite or abutting owners.

### **Physical Features of Site**

**The features of the proposed construction and property that relate to the rezoning and land division requests are as follows:**

The County has Zoning Jurisdiction over this site as the Town of Calamus has adopted the County's Land Use Code.

The applicant owns approximately 160-acres of land at this location. The property is located within the A-1 Prime Agricultural Zoning District.

The proposed area to be rezoned is not located within the Shoreland or Floodplain districts.

The topography of the site is rolling with slopes ranging from 0 to 12%;

Land Use, Site: Residential and agricultural.

Land Use, Area: Agricultural with scattered residences along Van Buren Road.

Designated Archaeological Site:    Yes             No

The proposal is consistent with the Dodge County Comprehensive Plan:

- The site is designated as agriculture according to the County's Future Land Use Map. The wetland areas on the property are designated as conservancy.

**Town Recommendation:**

Rezoning Petition:	Approve <input type="checkbox"/>	Deny <input type="checkbox"/>	No recommendation submitted <input checked="" type="checkbox"/>
Conditional Use Permit:	Approve <input type="checkbox"/>	Deny <input type="checkbox"/>	No recommendation submitted <input checked="" type="checkbox"/>

- Conditions:

**STAFF ADVISORY:**

*This staff advisory is only advice to the Planning, Development and Parks Committee. The Committee may or may not consider the advice of the staff and decision making authority is vested in the Committee only.*

**Rezoning Petition**

The staff believes that the committee can make the findings necessary under Section 2.3.4.I of the code in order to submit a favorable recommendation to the County Board.

**Conditional Use Permit Request**

The staff has reviewed the proposal for compliance with the criteria listed in Sections 2.3.6.F of the code. The staff comments are listed in Exhibit A for review by the committee.

It is the staff's position that if the facility is operated in accord with the development standards of the Code, sufficient parking spaces are provided on the property to accommodate parking for the maximum occupancy allowed for the building and the facility meets the applicable fire and building codes, the facility will meet the applicable provisions of the Code. If the Committee can make the findings necessary under Section 2.3.6.F of the code that are required to approve the Conditional Use Permit for this project, the staff recommends the following conditions of approval:

**CONDITIONS:**

1. The applicants rezoning petition shall be approved by the County Board of Supervisors prior to the issuance of the conditional use permit;
2. The business operation shall be conducted without offensive noise, vibration, dust, smoke, odor, glare, lighting or the risk of fire, explosion or other accident and shall not be detrimental to the public health and safety or general welfare of the immediate neighborhood or community;
3. The facility shall not be open after 12:00 midnight;
4. It shall be the responsibility of the applicant to obtain all Federal, State and/or local municipality permits, licenses and approvals that may be required for the construction and operation of the proposed private event facility and bathroom facilities on this site. The owner shall provide documentation to this Department that the applicable Federal, State and local municipality permits, licenses and approvals have been obtained to operate this facility and to document that the facility meets the required fire and building codes prior to use of the facility for a public event.
5. All exterior lighting shall meet the functional and security needs of the proposed development without adversely affecting adjacent properties. The applicant shall submit a detailed lighting plan in accord with Section 8.8 of the Code to the Department for review and approval prior to the issuance of the conditional use permit;
6. A land use permit shall be obtained by the developer for the proposed construction of the bathroom facilities and for any signs to be located on said property prior to beginning construction of the projects and prior to locating a sign on this property;
7. A code compliant private onsite wastewater treatment system or other approved method of sanitary sewage disposal facility shall be provided for the proposed facility prior to the issuance of the conditional use permit;
8. A detailed parking plan in accord with Section 8.2.6 of the County Land Use Code shall be submitted to the Department for review and approval prior to the issuance of the Conditional use permit. The aisles and spaces shall be clearly marked and shall be maintained in a manner so as to be readily visible and accessible at all times the private event facility is in operation in accord with Section 8.2.9 of the Code;
9. Any significant change to or expansion of the business operation and/or of its facilities may require that a new Conditional Use Permit be obtained.
10. The decision of the Committee is valid for one year.



## Exhibit A

### **Staff Review Comments – Rezoning Petition:**

**The staff has reviewed the petition for compliance with the approval criteria listed in Section 2.3.4.I of the Code and the staff has the following comments:**

#### **2.3.4.I Approval Criteria**

In acting on a rezoning petition, the County Board of Supervisors shall consider the stated purpose of the proposed zoning district and shall approve the rezoning petition only if it finds that:

**2.3.4.I.1** Adequate public facilities and services (including sewage and waste disposal, water, gas, electricity, schools, police and fire protection, and roads and transportation, as applicable) will be available to serve the subject property while maintaining adequate levels of service to existing development;

- It is the staff's position that there are adequate public facilities and services to serve the proposed event facility.

**2.3.4.I.2** Provision of public facilities to accommodate development will not place an unreasonable burden on the ability of affected local units of government to provide them;

- It is the staff's position that the proposed development project will not place an unreasonable burden on the ability of the Town to provide adequate public facilities or services;

**2.3.4.I.3** The proposed development will not result in significant adverse impacts upon surrounding properties or the natural environment, including air, water, noise, stormwater management, soils, wildlife, and vegetation;

- It is the staff's position that if the proposed facility is developed and operated in accord with the Land use code provisions, the project will not have an unreasonable adverse effect on surrounding properties or the environment;

**2.3.4.I.4** The land proposed for rezoning is suitable for development and will not cause unreasonable soil erosion or have an unreasonable adverse effect on rare or irreplaceable natural areas;

- It is the staff's position that the area to be rezoned is suitable for development and if the land is developed in accord with the land use code provisions, the project will not cause unreasonable soil erosion;

**2.3.4.I.5** The proposed rezoning is consistent with the Dodge County Comprehensive Plan and the stated purposes of this Code;

- It is the staff's position that the proposal is consistent with the Dodge County Comprehensive Plan as the site is designated as agricultural according to the County's Future Land Use Map.

**2.3.4.I.6** The proposed rezoning will not be used to legitimize, or "spot zone," a nonconforming use or structure;

- It is the staff's position that the proposed rezoning is consistent with the County's Future Land Use Plan as this site is designated as agriculture. Therefore it is the staffs position that the proposed rezoning will not result in spot rezoning.

**2.3.4.I.7** The proposed rezoning is the minimum action necessary to accomplish the intent of the petition, and an administrative adjustment, variance, or Conditional Use Permit could not be used to achieve the same result.

- It is the staff's position that the proposed rezoning petition is the minimum action necessary to accomplish the intent of the petition;

**2.3.4.J Approval by Affected Town Boards**

Approval of rezoning petitions by affected town boards shall occur pursuant to the procedures set forth in Section 2.2.15.

- A recommendation has not been forwarded to the Department regarding this petition.

## **STAFF REVIEW – CONDITIONAL USE PERMIT REQUEST**

The staff has reviewed the proposal for compliance with the criteria listed in Section 2.3.6.B of the code. The staff comments are as follows:

**2.3.6.B.2** Is the project compatible with adjacent uses in terms of scale, site design, operating characteristics (hours of operation, traffic generation, lighting, noise, odor, dust, and other external impacts);

- It is the staff's position that if the project is constructed in compliance with the development standards of the code, the proposal will be compatible with the adjacent uses;

**2.3.6.B.3** Will there be any significant adverse impacts on the adjacent properties, the community or to the environment as a result of this project?

- It is the staff's position that if the project is constructed in compliance with the development standards of the code, the proposal will not have an adverse impact on the adjacent properties;

**2.3.6.B.4** Will the project cause substantial diminution in value of other property in the neighborhood in which it is to be located;

- It is the staff's position that the project will not have an adverse impact on the value of other property in the area;

**2.3.6.B.5** Are public safety, transportation and utility facilities and services available to serve the subject property while maintaining sufficient levels of service for existing development?

- It is the staff's position that there are adequate public facilities to serve the property;

**2.3.6.B.6** Are there adequate assurances of continuing maintenance for the project?

- It is the staff's position that there are adequate assurances of continuing maintenance for the project

**2.3.6.B.7** Will any significant adverse impacts on the natural environment be mitigated to the maximum practical extent?

- It is the staff's position that any potential adverse impacts on the natural environment as a result of the operation of this business will be mitigated to the maximum practical extent.

**2.3.6.B.8** The proposed use will not be located in any hazard areas, including floodplains, floodways, etc., unless any potential danger is mitigated to the maximum extent possible, and to the satisfaction of the Wisconsin Department of Natural Resources;

- It is the staff's position that the proposed use will not be located in any hazard areas

**2.3.6.B.9** Is the proposed project consistent with the Dodge County Comprehensive Plan?

- It is the staff's position that the project is in compliance with the County Comprehensive Plan as the site is designated as agricultural according to the County's Future Land Use Map.

**2.3.6.B.1** Does the proposed project comply with all applicable provisions of this Code;

- It is the staff's position that the proposed project complies with the applicable provisions of the code;



**DODGE COUNTY**  
**LAND RESOURCES & PARKS DEPARTMENT**  
 127 E. OAK STREET • JUNEAU, WI 53039  
 PHONE: (920) 386-3700 • FAX: (920) 386-3979  
 E-MAIL: landresources@co.dodge.wi.us

**CONDITIONAL USE PERMIT**  
**APPLICATION**

THIS AREA FOR OFFICE USE ONLY	
<b>Activity No.</b> <b>170814</b>	<b>Permit Issued Date</b>
<b>Application Date:</b> 10/9/17	<b>Receipt #:</b> 900752
	<b>Sanitary Permit #:</b>

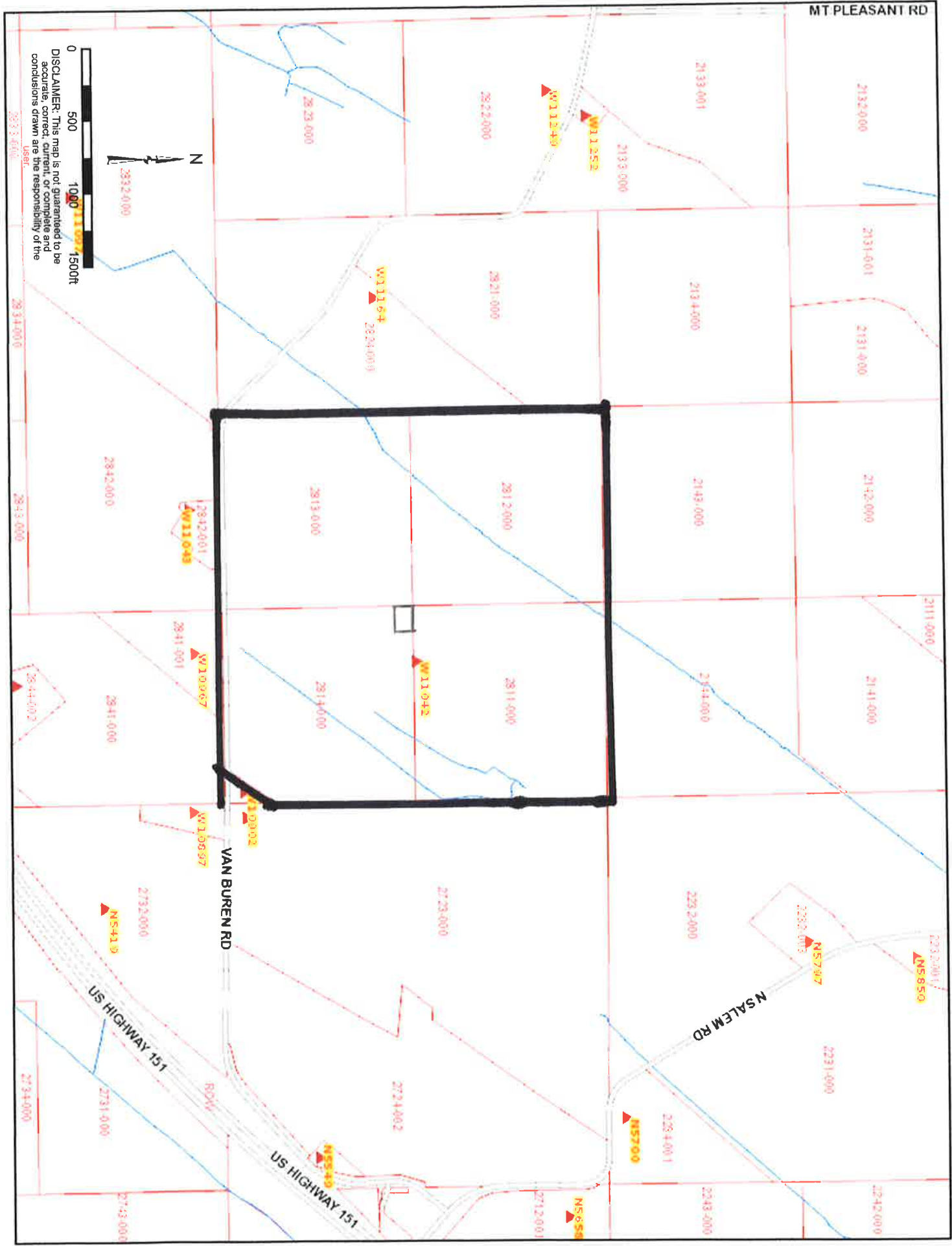
Application Fee: \$350 (After the Fact Application Fee - \$700)

Please complete page 1 and 2 of this application form and submit the application form with all of the required information listed in the "Application Checklist" for your project. PRINT OR TYPE. Use blue or black ink, do not use pencil. The Dodge County Land Resources and Parks Department will not consider your application unless you complete and submit this application form, the applicable information listed in the "application checklist" for your proposed project and the application fee. Personally identifiable information on this form will not be used for any other purpose, but it must be made available to requesters under Wisconsin's open records law [s.19.31-19.39, Wis. Stats.].

(1) NAMES & MAILING ADDRESSES		(2) PROPERTY DESCRIPTION				
Applicant (Agent) Steve Liverseed Fat Apple Farm		Parcel Identification Number (PIN) 008-1113-2814-000				
Street Address W 1042 Van Buren Rd		Town	T	N	R	E
City • State • Zip Code Columbus WI 53925		1/4	1/4	Section 28	Acreage 158	Lot (Block)
Property Owner (If different from applicant) same		Subdivision or CSM (Volume/Page/Lot)				
Street Address		Address Of Property (DO NOT include City/State/Zip Code) W 1042 Van Buren Rd. Columbus				
City • State • Zip Code		Is this property connected to public sewer? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No				
(3) PROPERTY USE		(4) PROPOSED PROJECT				
<b>Current Use Of Property</b> <input type="checkbox"/> Vacant Property <input type="checkbox"/> Single-Family Residential <input checked="" type="checkbox"/> Active-Working Farm Operation <input type="checkbox"/> Business • Industrial • Commercial • (Describe below) Other _____		<b>(Please check/complete all that apply below)</b> <input type="checkbox"/> Non-Farm Residential Lot <input type="checkbox"/> Single Family Residence <input type="checkbox"/> Two-Family Residence <input type="checkbox"/> Multi-Family Residence <input type="checkbox"/> Tavern or Restaurant <input type="checkbox"/> Professional Office <input type="checkbox"/> Non-Metallic Mine/Quarry <input type="checkbox"/> Wind Tower <input type="checkbox"/> Create/Expand Business <input type="checkbox"/> Wildlife Pond > 2-acres <input type="checkbox"/> Wireless Communications Tower <input type="checkbox"/> Contractor's Offices and Storage Yards <input type="checkbox"/> Filling, Grading or Dredging in the Shoreland District Other: <u>event barn</u>				
(5) CERTIFICATE						
I, the undersigned, hereby apply for a Conditional Use Permit and certify that all the information both above and attached is true and correct to the best of my knowledge. I affirm that I have read the DNR Notice shown above. I affirm that all work performed will be done in accordance with the Dodge County Land Use Code and with all other applicable laws and regulations. I hereby authorize members of the Dodge County Land Resources and Parks Department to enter the above-described property for purposes of obtaining information pertinent to my application request and to conduct land use code inspections.						
Signature _____		Date		10-4-17		
Daytime Contact Number (920) 623-2589		920-960-4903 Steviscell 605-206-7539 Nunnell				
AREA BELOW THIS LINE FOR OFFICE USE ONLY						
PLANNING, DEVELOPMENT & PARKS COMMITTEE ACTION						
Date of Decision _____		Decision _____				
<input type="checkbox"/> APPROVED	CONDITIONS	Land Resources and Parks Department				
<input type="checkbox"/> DENIED		Date: _____				

nancyliverseed@hotmail.com

Location Map Appendix A



Dodge County Quick Mapper

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Dodge County Land Resources & Parks

<p><b>General</b></p> <ul style="list-style-type: none"> <li>Urbanized Roads</li> <li>Soils</li> <li>Airport Ordinance 3-Mile Buffer</li> <li>Sewer Service Areas</li> <li>Elevation Contours (2' &amp; 10')</li> </ul> <p><b>WI Historical Society</b></p> <ul style="list-style-type: none"> <li>Historic Structures</li> <li>Archaeological Sites</li> <li>Survey Areas</li> </ul>	<p><b>Floodplain/Wetland</b></p> <ul style="list-style-type: none"> <li>Floodplain (May 19th 2014)</li> <li>Flood Storage Areas (2014)</li> <li>DNR Wetland (2006)</li> <li>DNR Wetland Points (2006)</li> </ul> <p><b>Shoreland Zoning</b></p> <ul style="list-style-type: none"> <li>Lake/Pond/Slough Buffer</li> <li>Lakes/Ponds/Sloughs</li> <li>Rivers/Streams/Creeks</li> <li>Horicon Marsh (860' Contour)</li> </ul>	<p><b>COUNTY ZONING</b></p> <ul style="list-style-type: none"> <li>PLANNED UNIT DEVELOPMENT</li> <li>HARTFORD EXTRATERRITORIAL</li> <li>GENERAL AGRICULTURAL</li> <li>PRIME AGRICULTURAL</li> <li>ONE FAMILY RESIDENTIAL</li> <li>TWO FAMILY RESIDENTIAL</li> <li>MULTI-FAMILY RESIDENTIAL</li> </ul>	<ul style="list-style-type: none"> <li>GENERAL COMMERCIAL</li> <li>EXTENSIVE COMMERCIAL</li> <li>LIGHT INDUSTRIAL</li> <li>INDUSTRIAL</li> <li>CITY OR VILLAGE</li> <li>RIGHT OF WAY</li> <li>WATERBODY</li> </ul>
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**General**

- Urbanized Roads
- Soils
- Airport Ordinance 3-Mile Buffer
- Sewer Service Areas
- Elevation Contours (2' & 10')

**WI Historical Society**

- Historic Structures
- Archaeological Sites
- Survey Areas

**Floodplain/Wetland**

- Floodplain (May 19th 2014)
- Flood Storage Areas (2014)
- DNR Wetland (2006)
- DNR Wetland Points (2006)

**Shoreland Zoning**

- Lake/Pond/Slough Buffer
- Lakes/Ponds/Sloughs
- Rivers/Streams/Creeks
- Horicon Marsh (860' Contour)

**COUNTY ZONING**

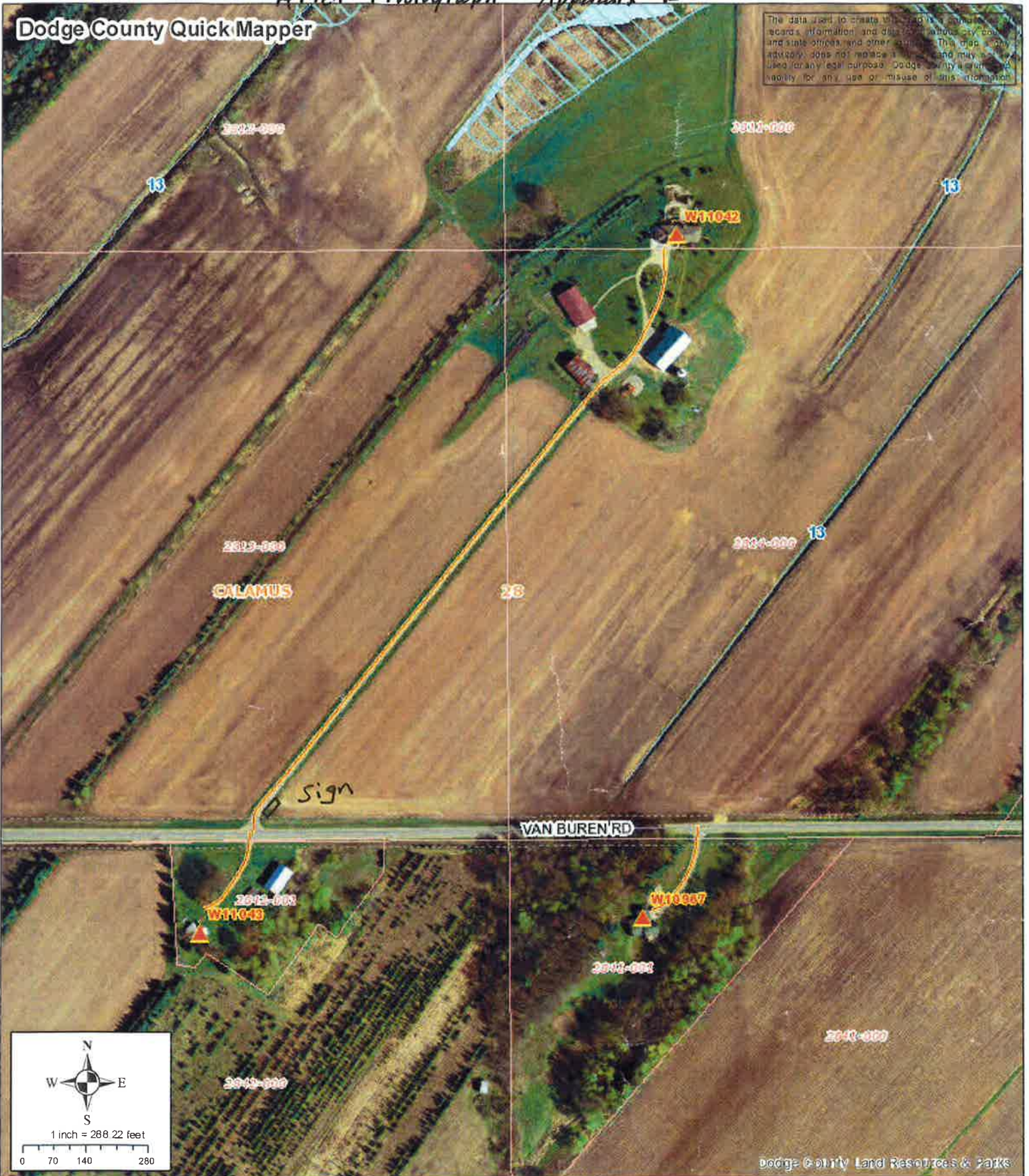
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- HARTFORD EXTRATERRITORIAL
- GENERAL AGRICULTURAL
- PRIME AGRICULTURAL
- ONE FAMILY RESIDENTIAL
- TWO FAMILY RESIDENTIAL
- MULTI-FAMILY RESIDENTIAL

- GENERAL COMMERCIAL
- EXTENSIVE COMMERCIAL
- LIGHT INDUSTRIAL
- INDUSTRIAL
- CITY OR VILLAGE
- RIGHT OF WAY
- WATERBODY

Date: 10/4/2017

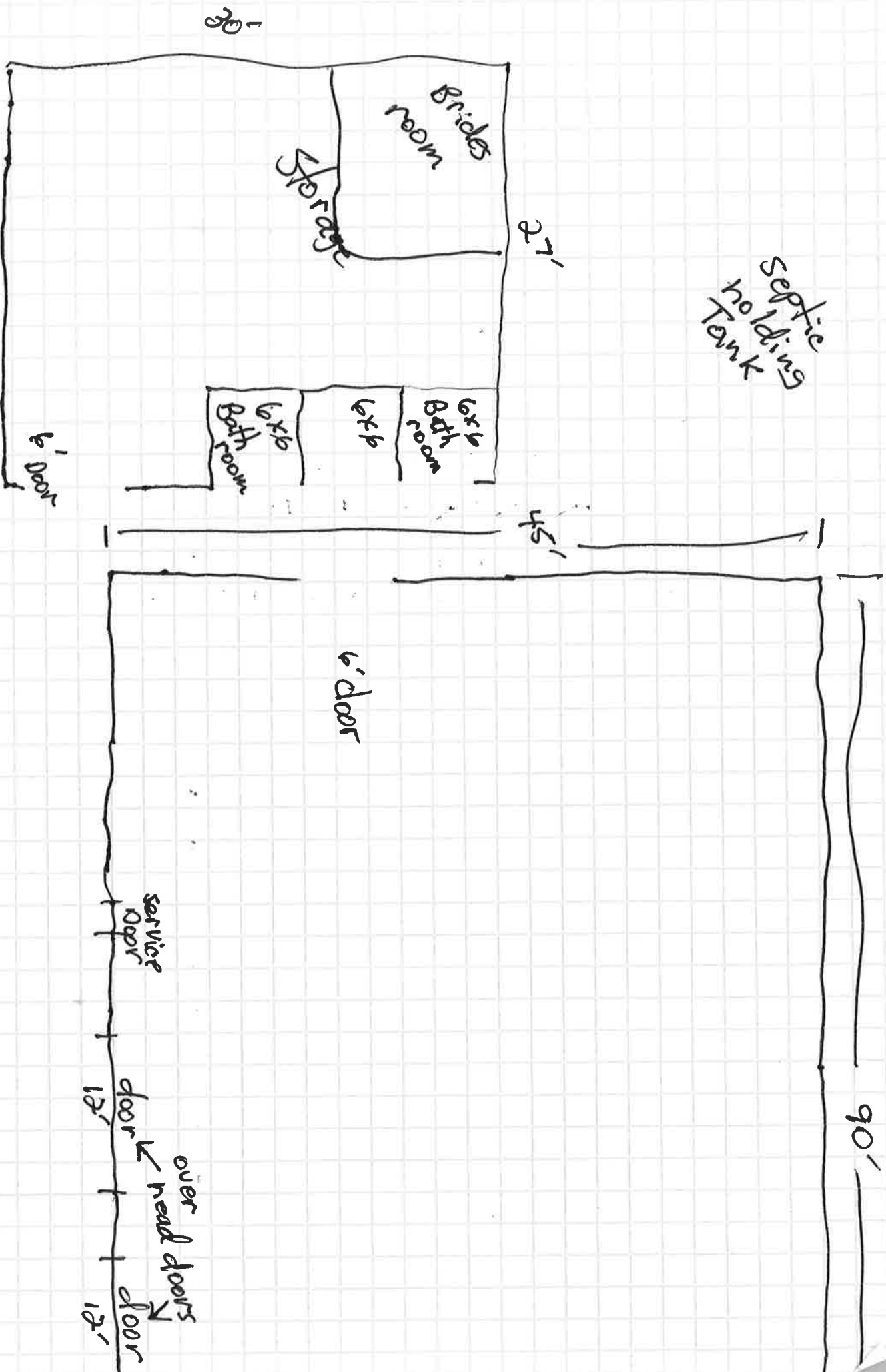
Dodge County Quick Mapper

The data used to create this map is derived from public records, information, and data provided by various city, town, and state offices, and other sources. This map is only advisory, does not replace a site visit, and may not be used for any legal purposes. Dodge County is not liable for any use or misuse of this information.



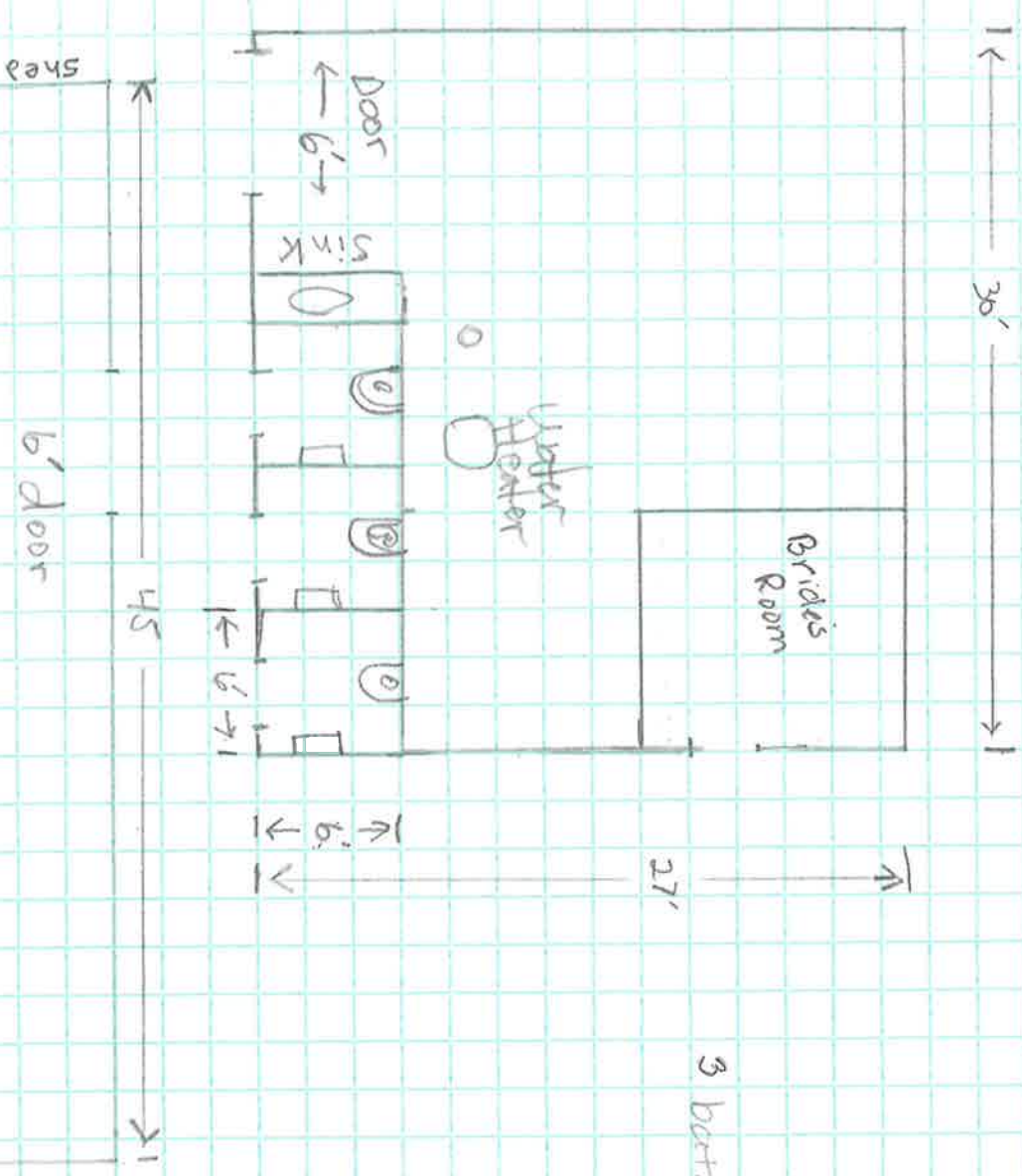
<p><b>General</b></p> <ul style="list-style-type: none"> <li> Urbanized Roads</li> <li> Soils</li> <li> Airport Ordinance 3-Mile Buffer</li> <li> Sewer Service Areas</li> <li> Elevation Contours (2' &amp; 10')</li> </ul> <p><b>WI Historical Society</b></p> <ul style="list-style-type: none"> <li> Historic Structures</li> <li> Archaeological Sites</li> <li> Survey Areas</li> </ul>	<p><b>Floodplain/Wetland</b></p> <ul style="list-style-type: none"> <li> Floodplain (May 19th 2014)</li> <li> Flood Storage Areas (2014)</li> <li> DNR Wetland (2006)</li> <li> DNR Wetland Points (2006)</li> </ul> <p><b>Shoreland Zoning</b></p> <ul style="list-style-type: none"> <li> Lake/Pond/Slough Buffer</li> <li> Lakes/Ponds/Sloughs</li> <li> Rivers/Streams/Creeks</li> <li> Horicon Marsh (860' Contour)</li> </ul>	<p><b>COUNTY ZONING</b></p> <ul style="list-style-type: none"> <li> PLANNED UNIT DEVELOPMENT</li> <li> HARTFORD EXTRATERRITORIAL</li> <li> GENERAL AGRICULTURAL</li> <li> PRIME AGRICULTURAL</li> <li> ONE FAMILY RESIDENTIAL</li> <li> TWO FAMILY RESIDENTIAL</li> <li> MULTI-FAMILY RESIDENTIAL</li> <li> GENERAL COMMERCIAL</li> <li> EXTENSIVE COMMERCIAL</li> <li> LIGHT INDUSTRIAL</li> <li> INDUSTRIAL</li> <li> CITY OR VILLAGE</li> <li> TWO FAMILY RESIDENTIAL</li> <li> RIGHT OF WAY</li> <li> WATERBODY</li> </ul>
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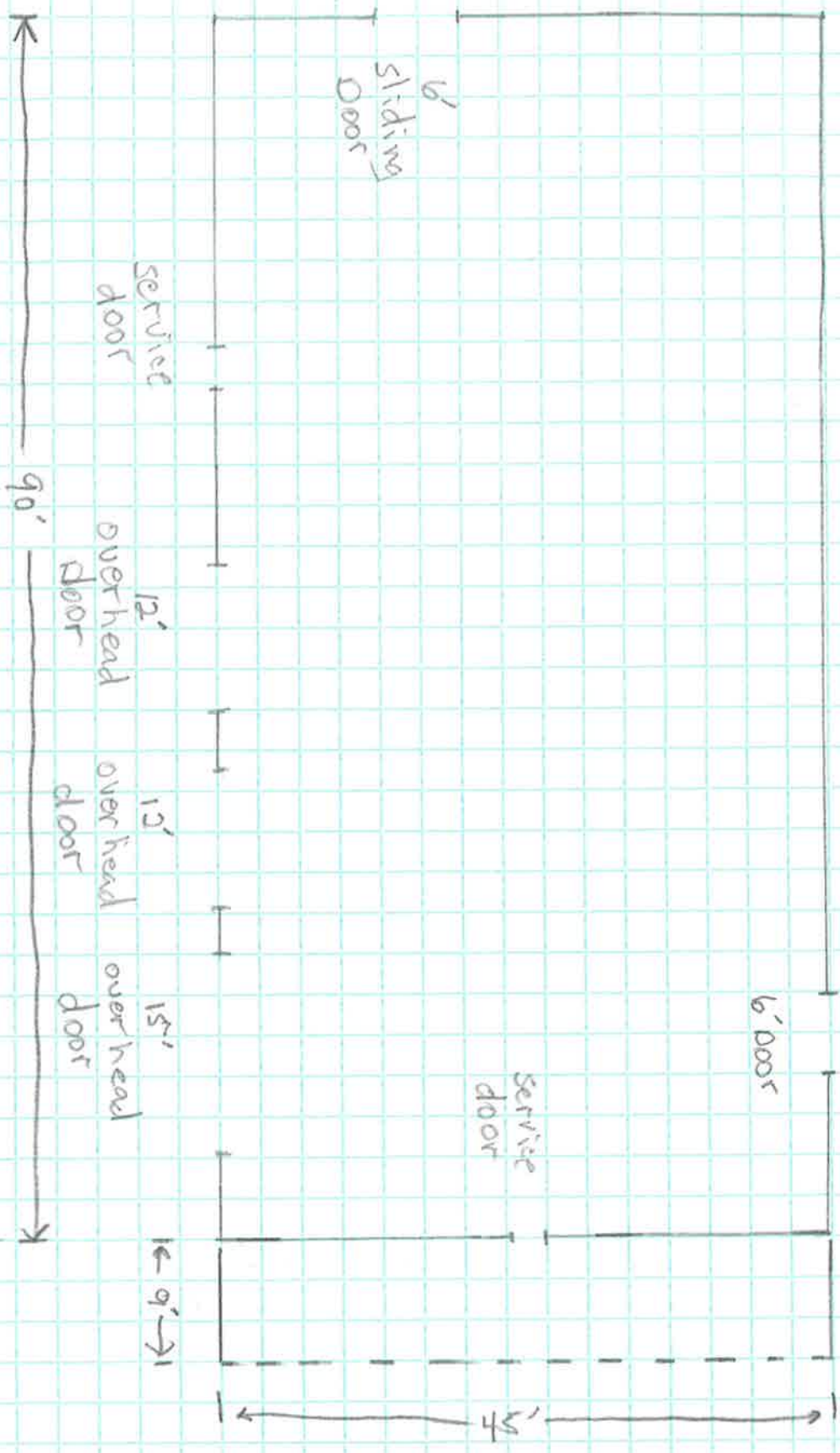
Appendix D  
Floor Plan

# Appendix D Proposed Bathroom Facility



3 bathrooms 6'x6' - 1-handicapped  
Accessible

Appendix D  
Detailed Floor Plan - Event Barn (1 floor)



Appendix E  
Sign



## Conditional Use Permit Application

Fat Apple Farm, LLC

1. Owner/Operators: Steve and Nancy Liverseed. Others involved in the business are our children; Sadie and David Nerswick, Stacy and Denny Berry, Stuart Liverseed, Zachary Haima and Seth Liverseed.

Address: W11042 Van Buren Road

Columbus, WI 53925

Phone: (920) 623-2589 home

(920) 960-4903 Steve's cell

(608) 206-7839 Nancy's cell

2. Location Map of the proposed business. See Appendix A

3. Aerial photograph. See Appendix B

4. Detailed Site Map. See Appendix C

5. Detailed Floor Plans. See Appendix D

6. We are currently proposing an Event Barn Venue, to host weddings, graduation parties, and other celebrations. In the future we have plans to expand our business to include an apple orchard. We have a few trees now but have planted more.

- The hours of operation will be 11:00 am the day before the event, for set up, until 12:00 p.m. the day following the event, for clean-up. All music must end by 11:30 p.m. the day of the event. In the case of a non-wedding event the shed will be rented on an hourly basis. We also will do showings by scheduled appointment.
- In addition to the owners, our family will be helping, at this time there will be no paid employees.
- We currently use the red shed for the main event venue space. We are proposing to build a three-stall bathroom/storage facility next to the red shed, one of these stalls will be handicapped accessible. It will have hot running water for caterers to use as well as a small space for the Bridal party. In addition, we are offering the basement of our house for use by the Bridal to party to get dressed and will have access to the full bathroom. There are two private entrance/exits to the basement.
- There is porch and motion sensor lighting on the red shed and there will be additional lighting on the outside of the bathroom facility. There is also lighting on the outside of the other shed for the parking area, we are planning to add additional lighting to that shed as well.
- At the current time we are using portable restrooms rented from Environmental Specialists, they clean and inspect on a weekly basis until we can complete the new bathroom facility. The new 3-stall bathroom facility will be using a holding tank that will be pumped regularly. The facility will have hot running water and individual sinks for handwashing. We are planning to rent a dumpster to handle waste from the facility.
- For parking we tore down an old machine shed that was graveled and are using that area plus the area along the other shed for main parking, we can fit approximately 50 cars in this area.

# FAT APPLE FARM, LLC RENTAL AGREEMENT AND PRICE LIST

## AGREEMENT:

This rental agreement is entered into on [redacted] by and between Steven Liverseed  
(today's date)  
"the Owner", of Fat Apple Farm, LLC "the Venue," located at W11042 Van Buren Rd, Columbus, Wisconsin  
53925 and "the Lessee" [redacted], of [redacted]  
(couples names) (couples address)

The Parties hereto, intending to be legally bound and in consideration of the mutual covenants herein contained, agree to the following:

Fat Apple Farm, LLC on the dates and times set forth herein, and subject to the terms and conditions in this agreement, hereby grant license to use Fat Apple Farm for the "Event", to be held on [redacted].  
(event date)

## POLICIES:

Fat Apple Farm is a working farm. Therefore, the following policies must be strictly followed:

- ◆ Fireworks, sparklers, and candles are not allowed.
- ◆ Campfire must be discussed and approved by an agent of Fat Apple Farm in advance. Placement is only in designated areas. If campfire is requested, someone has to stay with it until it is completely out.
- ◆ Smoking is only permitted in designated areas. No smoking is allowed indoors. All cigarette butts should be disposed of in provided container.
- ◆ Fat Apple Farm is not licensed to sell alcoholic beverages. A licensed bartender is permitted to serve, but not sell, alcohol on the premises. Absolutely no alcohol is to be served to minors. Alcohol service must end promptly at 11:30pm.
- ◆ Fat Apple Farm strongly suggests that the party host provide transportation for guests when serving alcoholic beverages at an event. All local and state laws are applicable.
- ◆ In the event of inclement weather and/or Act of God or events beyond our control, Fat Apple Farm will make all reasonable efforts to permit your event to take place on date and time scheduled. If it is necessary to move the date due to unforeseen circumstances, we will reschedule at a mutually agreed upon date and time.
- ◆ Any music is welcome. All sound equipment should be provided by Lessee. In consideration of our neighbors; music will end promptly at 11:30pm.
- ◆ Lessees can hire a caterer or provide their own food.
- ◆ Lessee will accept Fat Apple Farm in as-is condition, with all of its charms.
- ◆ Courtesy Protocol, the Venue reserves the right to request that any person or group of people acting unruly and contrary to rental regulations to leave the premises. Assistance from law enforcement agencies may be acquired if this request is not met immediately.
- ◆ Fat Apple Farm is not responsible for any lost, stolen, or damaged personal items belonging to the Lessee or their guests.
- ◆ Photo Release: Fat Apple Farm reserves the right to take pictures of your event for promotional purposes. Pictures will be focused on the venue but pictures may be requested to be removed.

## **DATES & TIMES OF PERMITTED USE:**

Access to the Venue for the Event will commence at 11am the day prior to the event. Any vendors and/or set-up personnel will be permitted to arrive and set up at any time from the opening of the Venue until 8pm that night. Clean up should be concluded by noon the day following the Event.

## **LIABILITY:**

Lessee is responsible for any and all damages that may occur during event affecting equipment, shed, main house, or property. Property includes, but is not limited to, property of the owners/operators of the Fat Apple Farm, it's Lessees, and it's guests. Lessee agrees to hold harmless the Owners, Operators, and Staff of Fat Apple Farm from responsibility or liability due to personal injury to Lessee's, guests, or attendees, or due to damage that may arise in connection with the use of Fat Apple Farm, the shed, main house, or grounds.

## **PACKAGES & PRICING:**

<b>Golden Apple - All Inclusive \$3,750.00***</b>	<b>Silver Apple Package \$3,250.00***</b>	<b>Red Apple Package \$2,750.00***</b>
<ul style="list-style-type: none"><li>• Weekend access to Fat Apple Farm.</li><li>• On-Site coordinator available the day of the event and one assistant.</li><li>• Clean up services.</li><li>• Choice of tables &amp; chairs.</li><li>• Restroom facilities.</li><li>• One bartender (up to 10 hours).</li><li>• On site ceremony with set up.</li><li>• Use of the house basement for getting ready.</li><li>• Mismatched table settings.</li><li>• Campfire at dusk.</li><li>• Food service assistant (if needed).</li><li>• Four hours use of the Venue for a shower, rehearsal dinner, or gift opening (subject to availability).</li></ul>	<ul style="list-style-type: none"><li>• Weekend access to Fat Apple Farm.</li><li>• On-Site coordinator available the day of the event and one assistant.</li><li>• Clean up services.</li><li>• Choice of tables &amp; chairs.</li><li>• Restroom facilities.</li><li>• One bartender (up to 10 hours).</li><li>• On site ceremony with set up.</li><li>• Use of the house basement for getting ready.</li></ul>	<ul style="list-style-type: none"><li>• Weekend access to Fat Apple Farm.</li><li>• On-Site coordinator available the day of the event and one assistant.</li><li>• Clean up services.</li><li>• Choice of tables &amp; chairs.</li><li>• Restroom facilities.</li></ul>

\*\*\*A \$500 security deposit is required in addition to the rental fee at least 30 days prior to the event. If no damage is found and if you reasonably clean up after your event and have removed personal items by noon on Sunday this money will be refunded.

**Base rate:** **\$2,750.00**

Weekend use of Fat Apple Farm starting at 11am Friday through 12pm on Sunday. Included are restroom facilities, large fans to circulate air, heat if needed, screen or TV for a slide show (must provide your own projector), pallet risers for elevating the head table, children's play area, trash and recycling receptacles (with bags), and parking.

**On-site coordinator and assistant:** **Included with base rate and any package**

Point of contact at the venue to make event planning and your event run smoothly. This person will be on hand the day of the event to assist in welcoming other vendors, cleaning up messes, directing parking, removing trash and refreshing the restroom. This person can help make recommendations of other vendors. They can be as visible/invisible and involved as you like. For events over 200 guests you may wish to add an additional person at \$20/hr.

**Table and chair rentals:** **Included with base rate and any package**

Your choice of tables and chairs to furnish your event. We have round tables and 6ft or 8ft long tables. We have banquet chairs for 300 and kitchen chairs for 140.

**Clean up services and security deposit:** **\$500.00 (Refundable)**

If no damage is found and if you reasonably clean up after your event and have removed personal items by noon on Sunday this money will be refunded.

**Ceremony with set-up:** **\$300.00**

Use of the lawns for a ceremony and the setting up and breaking down of seating for guests.

**Use of the house basement:** **\$250.00**

Use of the finished house basement including kitchenette, full bathroom, pool table, TV, and two dressing rooms.

**Bartender(s):** **\$20/hr (each) & tips**

Bartender(s) is paid \$20/hr plus tips. We recommend one per 100/guests for a simple bar menu, and two per 100/guests for a full bar.

**Food service assistant:** **\$20/hr (each)**

Someone to help with your meal service. Wait staff to help set up and clean up. This is encouraged for self-catered events.

**Mismatched Table Settings:** **\$2.50/guest**

Use of mismatched dinner and bread/salad/dessert plate, silverware, paper napkin and disposable cup.

**Camp fire:** **\$100.00**

Use of the fire circle. Wood is included. The fire will be started by Fat Apple Farm at the agreed upon time.

**Four hour use of the venue:** **\$300.00**

To use for a shower on a Sunday afternoon or another event such as rehearsal dinner or a gift opening.



**REQUESTED SERVICES:**

Selected package:

**Golden Apple-All Inclusive**  
\$3,750.00\*\*\*

**Silver Apple Package**  
\$3,250.00\*\*\*

**Red Apple Package**  
\$2,750.00\*\*\*

**Additional add-ons:**

**Fee:**

\*\*\*Changes can be made to the "add-ons" up to 30 days prior to the event.

<input type="checkbox"/> Ceremony with set-up	Seating for <input type="text"/> guests.	\$ <input type="text"/>
<input type="checkbox"/> Use of the house basement		\$ <input type="text"/>
<input type="checkbox"/> Bartender(s)	Total of <input type="text"/> bartenders.	\$ <input type="text"/>
<input type="checkbox"/> Food service assistant	Total of <input type="text"/> food service assistants.	\$ <input type="text"/>
<input type="checkbox"/> Mismatched Table Settings	Settings for <input type="text"/> guests.	\$ <input type="text"/>
<input type="checkbox"/> Campfire		\$ <input type="text"/>
<input type="checkbox"/> Four hour use of the venue	Agreed upon date & time: _____	\$ <input type="text"/>

Package	+ Add-ons	-Discounts	+Security Deposit	=Total Rental Cost
\$ <input type="text"/>	+ \$ <input type="text"/>	- \$ <input type="text"/>	+ \$ <input type="text"/> (refundable)	= \$ <input type="text"/>

**PAYMENT TERMS:**

A deposit of \$500 must be paid within 7 days of making the reservation. Your deposit locks in the date for your event. This deposit is non-refundable but is applicable to an alternate available date if necessary. The remaining balance for all services "total rental cost" is due 30 days before the event. The security deposit will be refunded if no damage to the buildings/grounds is found.

<b>Rental Deposit:</b> \$500.00	<b>Total Rental Balance + Security Deposit:</b> \$ <input type="text"/>
Received: _____	Due Date: _____
	Received: _____

**EVENT DETAILS:**

Couples Names: \_\_\_\_\_  
\_\_\_\_\_

Contact Phone Number(s): \_\_\_\_\_  
\_\_\_\_\_

Wedding Date: \_\_\_\_\_

Ceremony Time: \_\_\_\_\_

Ceremony Location: \_\_\_\_\_

Bar Start Time: \_\_\_\_\_

Dinner Time: \_\_\_\_\_

DJ Start Time: \_\_\_\_\_

Head Table Count: \_\_\_\_\_

Tables Selected: \_\_\_\_\_

Chairs Selected: \_\_\_\_\_

Caterer: \_\_\_\_\_

Contact Name: \_\_\_\_\_

Contact Phone Number(s): \_\_\_\_\_

DJ: \_\_\_\_\_

Contact Name: \_\_\_\_\_

Contact Phone Number(s): \_\_\_\_\_

Additional notes:

**SIGNATURES:**

This lease agreement, according to the above terms of this contract, is entered by and between Steven Liverseed, Owner of Fat Apple Farm, and , Lessee(s), on  allowing for reasonable usage of Fat Apple Farm and additional items and services as indicated in this contract.

(couples names)

(today's date)

**Fat Apple Farm Representative:**

**Lessee/Event Host:**

Signature & Date:

Signature & Date:

\_\_\_\_\_ Date: \_\_\_\_\_

\_\_\_\_\_ Date: \_\_\_\_\_

Please Print Name: \_\_\_\_\_

Please Print Name: \_\_\_\_\_

W11042 Van Buren Road  
Columbus WI, 53925

Address: \_\_\_\_\_  
\_\_\_\_\_

Contact Phone Number: \_\_\_\_\_

Contact Email: \_\_\_\_\_



DODGE COUNTY  
 LAND RESOURCES & PARKS DEPARTMENT  
 127 E. OAK STREET • JUNEAU, WI 53039  
 PHONE: (920) 386-3700 • FAX: (920) 386-3979  
 E-MAIL: landresources@co.dodge.wi.us

# REZONING PETITION

THIS AREA FOR OFFICE USE ONLY	
Activity No. <b>170824</b>	Application Date: 10-11-17
	Receipt #: 900760

Petition Fee: \$350 (Payable to Dodge County)

NAMES & MAILING ADDRESSES		PROPERTY DESCRIPTION			
Petitioner (Agent) Steve Liverseed Fat Apple Farm		Parcel Identification Number (PIN) 008-1113-2814-020			
Street Address W 11042 Van Buren Road		Town Calamus	T 11	N 13	R E 13
City • State • ZipCode Columbus WI 53925		Section 28	1/4 SE	1/4 NE	Acreage 38.97
Property Owner (If different from petitioner) same		Subdivision or CSM (Volume/Page/Lot)			
Street Address		Address Of Property (DO NOT include City/State/ZipCode)			
City • State • ZipCode		Is this property connected to public sewer? <input type="checkbox"/> Yes <input type="checkbox"/> No			

## CONTACT PERSON

Name and daytime phone number (include area code) of a person we can contact if we have any questions about your petition.

Name Steve - Nancy Liverseed Daytime Phone (920) 623 - 2589

## PROPOSED REZONING

Current Zoning District <u>A-1 Prime Agricultural</u>	Proposed Zoning District <u>A-2 General Agricultural</u>
--	---

### Reason For Rezoning

To allow for the establishment of an event barn facility on this site.

Please complete the site map on the reverse side of this sheet.

## CERTIFICATE

I, the undersigned, hereby petition to rezone the aforementioned property and certify that all the information both above and attached is true and correct to the best of my knowledge.

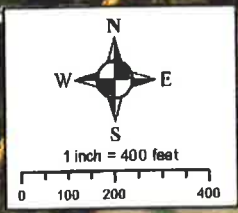
Signature [Signature] Date 10-11-17

Daytime Contact Number (920) 623 - 2589

◆ AREA BELOW THIS LINE FOR OFFICE USE ONLY ◆

# Dodge County Quick Mapper

The data used to create this map is a compilation of records, information, and data from various city, county, and state offices, and other sources. This map is advisory, does not replace a survey, and may not be used for any legal purpose. Dodge County assumes no liability for any use or misuse of this map.



Dodge County Land Resources 6-2017

<b>General</b> Urbanized Roads Soils Airport Ordinance 3-Mile Buffer Sewer Service Areas Elevation Contours (2' & 10') <b>WI Historical Society</b> Historic Structures Archaeological Sites Survey Areas	<b>Floodplain/Wetland</b> Floodplain (May 19th 2014) Flood Storage Areas (2014) DNR Wetland (2006) DNR Wetland Points (2006) <b>Shoreland Zoning</b> Lake/Pond/Slough Buffer Lakes/Ponds/Sloughs Rivers/Streams/Creeks Horicon Marsh (860' Contour)	<b>COUNTY ZONING</b> PLANNED UNIT DEVELOPMENT HARTFORD EXTRATERRITORIAL GENERAL AGRICULTURAL PRIME AGRICULTURAL ONE FAMILY RESIDENTIAL TWO FAMILY RESIDENTIAL MULTI-FAMILY RESIDENTIAL GENERAL COMMERCIAL EXTENSIVE COMMERCIAL LIGHT INDUSTRIAL INDUSTRIAL CITY OR VILLAGE RIGHT OF WAY WATERBODY
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*Rezone from A-1 Prime Agricultural District to the A-2 General Agricultural District* Date: 10/11/2017

**Dodge County Planning, Development and Parks Committee Decision**

**County Rezoning Application # 2017-0824**

**Applicant (Agent):**

Steve Liverseed – Fat Apple Farm  
W11042 Van Buren Road  
Columbus, WI 53925

**Owner:**

Steve and Nancy Liverseed  
W11042 Van Buren Road  
Columbus, WI 53925

**Filing Date: October 11, 2017**

**Hearing Date: November 20, 2017**

**Location**

PIN# 008-1113-2814-000

Part of the SE ¼ of the NE ¼, Section 28, Town of Calamus, the site address being W11042 Van Buren Road.

**Applicants Request**

The applicant has submitted a request to rezone approximately 39-acres of land from the A-1 Prime Agricultural Zoning District to the A-2 General Agricultural Zoning District, and has submitted a conditional use permit application under the Land Use Code, Dodge County, Wisconsin to allow for the conversion of an existing barn into an event barn venue for weddings, graduation parties and other celebrations.

**CONCLUSIONS OF LAW**

**Based upon the facts presented in the application and at the public hearing the committee concludes that:**

**2.3.4.I Approval Criteria**

In acting on a rezoning petition, the County Board of Supervisors shall consider the stated purpose of the proposed zoning district and shall approve the rezoning petition only if it finds that:

**2.3.4.I.1** Adequate public facilities and services (including sewage and waste disposal, water, gas, electricity, schools, police and fire protection, and roads and transportation, as applicable) will be available to serve the subject property while maintaining adequate levels of service to existing development;

This determination (can / can not) be made;

Comments \_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_

**2.3.4.I.2** Provision of public facilities to accommodate development will not place an unreasonable burden on the ability of affected local units of government to provide them;

This determination (can / can not) be made;

Comments \_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_

**2.3.4.I.3** The proposed development will not result in significant adverse impacts upon surrounding properties or the natural environment, including air, water, noise, stormwater management, soils, wildlife, and vegetation;

This determination (can / can not) be made;

Comments \_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_

**2.3.4.I.4** The land proposed for rezoning is suitable for development and will not cause unreasonable soil erosion or have an unreasonable adverse effect on rare or irreplaceable natural areas;

This determination (can / can not) be made;

Comments \_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_

**2.3.4.I.5** The proposed rezoning is consistent with the Dodge County Comprehensive Plan and Agricultural Preservation Plan and the stated purposes of this Code;

This determination (can / can not) be made;

Comments \_\_\_\_\_  
\_\_\_\_\_

**2.3.4.I.6** The proposed rezoning will not be used to legitimize, or “spot zone,” a nonconforming use or structure;

This determination (can / can not) be made;

Comments \_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_

**2.3.4.I.7** The proposed rezoning is the minimum action necessary to accomplish the intent of the petition, and an administrative adjustment, variance, or Conditional Use Permit could not be used to achieve the same result.

This determination (can / can not) be made;

Comments \_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_

**2.3.4.J Approval by Affected Town Boards**

Approval of rezoning petitions by affected town boards shall occur pursuant to the procedures set forth in Section 2.2.15.

The Town Board (has / has not) filed a certified resolution with the County in accord with Section 2.2.15 of the code disapproving the proposed rezoning request.

Comments \_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_

**Does the application contain sufficient information necessary to make a decision on the rezoning petition?**

- Yes;
- No - the following additional information is needed before a decision can be made:

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**Committee Action**

Motion by \_\_\_\_\_ to submit a (favorable / unfavorable) recommendation to the County Board of Supervisors on the rezoning petition as proposed.

Motion second \_\_\_\_\_

**Vote**

Allen Behl	<input type="checkbox"/> Yes	<input type="checkbox"/> No	<input type="checkbox"/> Abstain	<input type="checkbox"/> Not Present
Janice Bubholz	<input type="checkbox"/> Yes	<input type="checkbox"/> No	<input type="checkbox"/> Abstain	<input type="checkbox"/> Not Present
Randy Grebel	<input type="checkbox"/> Yes	<input type="checkbox"/> No	<input type="checkbox"/> Abstain	<input type="checkbox"/> Not Present
Joseph Marsik	<input type="checkbox"/> Yes	<input type="checkbox"/> No	<input type="checkbox"/> Abstain	<input type="checkbox"/> Not Present
Tom Schaefer - Chairman	<input type="checkbox"/> Yes	<input type="checkbox"/> No	<input type="checkbox"/> Abstain	<input type="checkbox"/> Not Present

Motion Carried / Denied

**ORDER AND DETERMINATION – REZONING PETITION**

On the basis of the above findings of fact, conclusions of law and the record in this rezoning matter, the committee:

- shall provide a favorable recommendation to the County Board on the rezoning petition as proposed. An ordinance shall also be drafted effectuating the recommendation of the committee and said ordinance shall be submitted to the Board for approval;
- shall provide a favorable recommendation to the County Board on the proposed rezoning petition as modified by the committee. An ordinance shall also be drafted effectuating the recommendation of the committee and said ordinance shall be submitted to the Board for approval;
- shall provide an unfavorable recommendation to the County Board on the rezoning petition as proposed;
- shall provide a “No Recommendation” to the County Board on the proposed rezoning petition as proposed;

**Dodge County Planning, Development and Parks Committee Decision**

**County Conditional Use Permit Application # 2017-0814**

**Applicant (Agent):**

Steve Liverseed – Fat Apple Farm  
W11042 Van Buren Road  
Columbus, WI 53925

**Owner:**

Steve and Nancy Liverseed  
W11042 Van Buren Road  
Columbus, WI 53925

**Filing Date: October 11, 2017**

**Hearing Date: November 20, 2017**

**Location**

PIN# 008-1113-2814-000

Part of the SE ¼ of the NE ¼, Section 28, Town of Calamus, the site address being W11042 Van Buren Road.

**Applicants Request**

The applicant has submitted a request to rezone approximately 39-acres of land from the A-1 Prime Agricultural Zoning District to the A-2 General Agricultural Zoning District, and has submitted a conditional use permit application under the Land Use Code, Dodge County, Wisconsin to allow for the conversion of an existing barn into an event barn venue for weddings, graduation parties and other celebrations.

**Conditional Use Permit Request before the Committee:**

Request to allow for the conversion of an existing barn into an event barn venue for weddings, graduation parties and other celebrations

**2.3.6.B General Approval Criteria for Conditional Use Permits**

Conditional Use Permits may be approved by the Committee only if they find that all of the following criteria have been met:

**2.3.6.B.2** Is the project compatible with adjacent uses in terms of scale, site design, operating characteristics (hours of operation, traffic generation, lighting, noise, odor, dust, and other external impacts);

(Yes / No)

Concerns / Comments

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**2.3.6.B.3** Will there be any significant adverse impacts on the adjacent properties, the community or to the environment as a result of this project?

(Yes / No)

Potential adverse impacts:

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If applicable, what additional measures can be taken to mitigate or offset the adverse impacts to the maximum practical extent?

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**2.3.6.B.4** Will the project cause substantial diminution in value of other property in the neighborhood in which it is to be located;

(Yes / No)

Comments

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**2.3.6.B.5** Are public safety, transportation and utility facilities and services available to serve the subject property while maintaining sufficient levels of service for existing development?

(Yes / No / Not Applicable)

Comments

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**2.3.6.B.6** Are there adequate assurances of continuing maintenance for the project?

(Yes / No/ Not Applicable)

Comments

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**2.3.6.B.7** Will any significant adverse impacts on the natural environment be mitigated to the maximum practical extent?

(Yes / No)

Comments

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**2.3.6.B.8** Will the proposed use be located in any hazard areas, including floodplains, floodways, etc? If applicable, will any potential danger resulting from this proposed use be mitigated to the maximum extent possible, and to the satisfaction of the Wisconsin Department of Natural Resources?

(Yes / No / Not applicable)

Comments

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**2.3.6.B.9** Is the proposed project consistent with the Dodge County Comprehensive Plan?

(Yes / No)

Comments

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**2.3.6.B.1** Does the proposed project comply with all applicable provisions of this Code;

Yes: According to the information presented at the hearing, the proposed project complies with the applicable provisions of the code;

No: According to the information presented at the hearing, the proposed project does not comply with the following provisions of the code;

Concerns / Comments

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**Does the application contain sufficient information necessary to make a decision?**

(Yes/No)

The following additional information is required:

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**Are any conditions for approval needed in this case to mitigate any potential adverse impacts on the adjacent properties, the environment or the community?**

(Yes/No)

1. The applicants rezoning petition shall be approved by the County Board of Supervisors prior to the issuance of the conditional use permit;
2. The business operation shall be conducted without offensive noise, vibration, dust, smoke, odor, glare, lighting or the risk of fire, explosion or other accident and shall not be detrimental to the public health and safety or general welfare of the immediate neighborhood or community;
3. The facility shall not be open after 12:00 midnight;
4. It shall be the responsibility of the applicant to obtain all Federal, State and/or local municipality permits, licenses and approvals that may be required for the construction and operation of the proposed private event facility and bathroom facilities on this site. The owner shall provide documentation to this Department that the applicable Federal, State and local municipality permits, licenses and approvals have been obtained to operate this facility and to document that the facility meets the required fire and building codes prior to use of the facility for a public event.
5. All exterior lighting shall meet the functional and security needs of the proposed development without adversely affecting adjacent properties. The applicant shall submit a detailed lighting plan in accord with Section 8.8 of the Code to the Department for review and approval prior to the issuance of the conditional use permit;
6. A land use permit shall be obtained by the developer for the proposed construction of the bathroom facilities and for any signs to be located on said property prior to beginning construction of the projects and prior to locating a sign on this property;
7. A code compliant private onsite wastewater treatment system or other approved method of sanitary sewage disposal facility shall be provided for the proposed facility prior to the issuance of the conditional use permit;
8. A detailed parking plan in accord with Section 8.2.6 of the County Land Use Code shall be submitted to the Department for review and approval prior to the issuance of the Conditional use permit. The aisles and spaces shall be clearly marked and shall be maintained in a manner so as to be readily visible and accessible at all times the private event facility is in operation in accord with Section 8.2.9 of the Code;
9. Any significant change to or expansion of the business operation and/or of its facilities may require that a new Conditional Use Permit be obtained.
10. The decision of the Committee is valid for one year.

Others

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The Conditional Use Permit Request (meets / does not meet) the approval criteria in Section 2.3.6.B of the County Land Use Code.

Motion by \_\_\_\_\_ to approve the conditional use permit request based upon the previously mentioned findings and conditions.

Motion second \_\_\_\_\_



# Land Resources and Parks Department Staff Report

## County Shoreland Conditional Use Permit Application #2017-0764

### **Applicant (Agent):**

Anthony Foss  
5587 E Waterford Road  
Hartford, WI 53027

### **Owner:**

Janis Kengis Irrevocable Trust 2012  
P.O. Box 648  
Waukesha, WI 53187

**Filing Date: September 21, 2017**

**Hearing Date: November 20, 2017**

### **Location**

PIN#: 002-0917-1443-000

Location: Part of the SW of the SE ¼, Section 14, T09N, R14E, Town of Ashippun, the site address being W998 Washington Road.

### **Applicants Request**

An application for a County Conditional Use Permit under the Dodge County Shoreland Protection Ordinance, was made by the applicant to allow filling and dredging within a navigable waterway associated with the removal and replacement of an existing private bridge with a culvert of the same size.

### **Project Details**

The applicant has filed an application with a request to replace an existing bridge in the Ashippun River with a culvert designed by an engineer. The bridge is part of the applicants driveway which is necessary to allow the applicant access to the residential structure located on this lot. The existing bridge is approximately 21' long with an open area of approximately 105 square feet. The existing bridge and bridge abutments will be removed and will be replaced with a Conteck Bridge system. Erosion control activities will consist of a silt fence, (2) turbidity barriers and a construction tracking pad which will be installed and maintained throughout the project and will be removed upon stabilization of the project. Steel sheet coffer dams and a bypass dewatering system will be utilized during the typical flow conditions. All work will be done from the existing top of the river bank and the project is scheduled to be completed within 15-days. The proposed bridge system will be approximately 22'-3" long with a proposed bridge open area of approximately 132 square feet. There will be no changes to the channel bottom and no changes to the flood flow capacity of the river.

The applicable Department of Natural Resources and Army Corps permits and approvals have been obtained.

### **County Jurisdiction**

The County has zoning jurisdiction over this site as the Town of Ashippun has adopted the County's Land Use Code. The County also has Shoreland Jurisdiction over this site as the waterway (Ashippun River) is designated as a navigable waterway;

The County has Floodplain jurisdiction over this site as the site or portions of the site are designated as floodplains on the maps listed in Section 1.5(2)a of the Dodge County Floodplain Zoning Ordinance.

**Review Criteria**

1. Subsections 14.2(2) of the Shoreland Protection Ordinance details procedural matters, the approval criteria and the form for the conditional use permit application. The Committee shall authorize the Land Use Administrator to issue a Conditional Use Permit (CUP) for conditional uses after review and a public hearing, provided that such conditional uses or structure are in accordance with the purpose and intent of this Ordinance and the approval criteria provided in Section 14.2(2)(c) and are found not to be hazardous, harmful, offensive, or otherwise adverse to the environment or the value of the area.
2. Subsection 14.2(2)(d) of the code lists conditions in addition to those required elsewhere in the Ordinance that the committee may attach to the permit in order to mitigate any potential adverse impacts resulting from the project.

**Shoreland Ordinance Provisions**

1. Section 8.1(1) of the Shoreland Protection Ordinance requires a conditional use permit for any filling, grading, dredging, ditching, or excavating within the bed of a navigable waterway/body.

**Floodplain Ordinance Provisions**

1. Section 3.2 (6) of the Floodplain Ordinance lists culverts that comply with chapters 30 and 31 of the Wisconsin State Statutes as an allowed use within the Floodway District.
2. Section 2.1 (1) of the Dodge County Floodplain Ordinance requires that no floodplain development shall
  - (a) Obstruct flow, defined as development which blocks the conveyance of floodwaters by itself or with other development, causing any increase in the regional flood height;
  - (b) Cause any increase in the regional flood height due to floodplain storage area lost.

**Purpose Statement**

The purpose of the Shoreland Protection Ordinance is to promote the public health, safety, convenience and welfare and to promote and protect the public trust in navigable waters.

The purpose of the Floodplain regulations are to regulate floodplain development in order to protect life, health, and property, to minimize rescue and relief efforts, to minimize business and other economic interruptions, to minimize damage to public facilities and to prevent increases in flood heights that could increase flood damage.

**Physical Features of Site**

**The features of the proposed construction and property that relate to the granting or denial of the conditional use permit request are as follows:**

The property is located within the A-2 General Agricultural Zoning District under the Dodge County Land Use Code. The bridge is also located within the County’s shoreland jurisdiction as the Ashippun River is designated as a navigable waterway and the filling, grading and excavation will take place on the bed if the river.

The topography of the site is rolling with slopes ranging from 2 to 18%;

Land Use, Site: Residential and agricultural.

Land Use, Area: Agricultural with scattered residences along Washington Road.

Designated Archaeological Site:    Yes                     No

Town Recommendation:	Approve <input type="checkbox"/>	Deny <input type="checkbox"/>	No recommendation submitted <input checked="" type="checkbox"/>
DNR Recommendation:	Approve <input type="checkbox"/>	Deny <input type="checkbox"/>	No recommendation submitted <input checked="" type="checkbox"/>
ARMY CORP Recommendation:	Approve <input type="checkbox"/>	Deny <input type="checkbox"/>	No recommendation submitted <input checked="" type="checkbox"/>

**STAFF ADVISORY:**

***This staff advisory is only advice to the Planning, Development and Parks Committee. The Committee may or may not consider the advice of the staff and decision making authority is vested in the Committee only.***

The staff has reviewed the proposal for compliance with the criteria listed in Section 14.2(2)(c) of the Shoreland Protection Ordinance and Section 2.1(1) of the Dodge County Floodplain Zoning Ordinance. The staff comments are listed in Exhibit A for review by the committee.

It is the staff's position that the project will be in compliance with the applicable provisions of the Dodge County Shoreland Protection Ordinance and the Floodplain Zoning Ordinance and it is the staff's position that the Committee will be able to make the findings necessary under Section 14.2(2)(c) of the Ordinance that are required to approve the Conditional Use Permit for this project. If approved with the following conditions, it is the staff's position that the project will not have an adverse effect on the adjacent land owners, the community or the environment and the proposal will be consistent with the purpose and intent of the Ordinance.

**CONDITIONS:**

1. It shall be the responsibility of the applicant to obtain all other permits or approvals that may be required (e.g., Wisconsin Department of Natural Resources and/or U.S. Army Corps of Engineers) for the proposed project.
2. All disturbed areas shall be leveled and graded (as needed) and seeded to permanent vegetation as soon as possible to prevent erosion of silt/sediment into the waterway.
3. The proposed project shall not obstruct flow and shall not increase the regional flood height. The owner shall submit certification to the Department from a duly qualified engineer licensed to practice in the State of Wisconsin, certifying that the project will not obstruct flow and will not increase the regional flood height.
4. All erosion control measures required by the applicable Federal, State, County and Local codes shall be in place and shall be maintained throughout the duration of the project in accordance with Best Management Practices.
5. All work shall be done in accord with the plans and specifications submitted with the application.
6. The decision of the Committee is valid for one year.

## EXHIBIT A

### **Staff Review Comments**

The staff has reviewed the proposal for compliance with the applicable criteria listed in Section 14.2(2)(c) of the Dodge County Shoreland Protection Ordinance for dredging projects. The staff comments are as follows:

**14.2(2)(c)** Conditional use permits shall be approved by the Committee if they find that all of the following criteria have been met:

**14.2(2)(c)2** Are there adequate assurances of continuing maintenance of safe and healthful conditions for the project site been provided?

- It is the staff's position that if the project is done in accord with the permit application and in accord with the development standards of the Code, the project site will be maintained in a safe and healthful condition.

**14.2(2)(c)3** Is the project designed to control water pollution and sedimentation?

- It is the staff's position that if the project is constructed in compliance with the erosion control provisions of the Shoreland Ordinance and in accord with the Best Management Practice Handbook, the project will control water pollution and sedimentation.

**14.2(2)(c)4** Is the project in compliance with Dodge County Floodplain Zoning Ordinance and is the project designed to prevent flood damage to adjacent properties due to altered surface water drainage of the site?

- **Floodplain Ordinance**

Section 2.1(1) (a) Does the project block the conveyance of floodwaters by itself or with other development, thereby increasing the regional height?

- It is the staff's position that the project as proposed will not block the conveyance of floodwaters by itself or with other development projects because the proposed culvert opening will be the same size or slightly larger than the existing bridge opening.

Section 2.1(1) (b) Does the project increase the regional flood height due to floodplain storage area lost.

- It is the staff's position that the project will not result in an increase the regional flood height due to floodplain storage area lost because the proposed culvert opening will be the same size or slightly larger than the existing bridge opening.

**14.2(2)(c)5** Is the project designed to minimize soil erosion from the site during and after construction to the maximum practical extent?

- It is the staff's position that if the project is constructed in compliance with the erosion control provisions of the Shoreland Ordinance and in accord with the Best Management Practice Handbook, the project will minimize soil erosion from this site.

**14.2(2)(c)6** Are public safety, transportation and utility facilities and services available to serve the subject property while maintaining sufficient levels of service for existing development?

- It is the staff's position that public safety, transportation and utility facilities are available to serve the property.



**14.2(2)(c)7** Will the proposed use cause substantial diminution in value of other property in the neighborhood in which it is located?

- It is the staff's position that no documentation has been submitted that will document that the proposed use will result in a substantial diminution in value of other property in the neighborhood.

**14.2(2)(c)8** Is the project compatible with adjacent uses in terms of scale, site design, and any other external impacts?

- It is the staff's position that the project is compatible with adjacent land uses.

Will the proposed project be significantly detrimental to the public health, safety and welfare?

- The applicant is replacing an existing private bridge with a culvert of the same or slightly larger size in order to provide continued access to the existing residence on this property for safety reasons. The project is designed to maintain the existing flow and floodplain capacity of the existing bridge. It is the staff's position that if the project is completed as proposed, the project will not have a significant detrimental impact on the public health, safety and welfare of the community or the adjacent owners;

**14.2(2)(c)9** Will the project generate any liquid or solid wastes? If wastes will be generated, are there adequate plans in place to dispose of the waste generated from this project?

- It is the staff's position that any wastes generated from the project will be adequately handled.

**14.2(2)(c)10** The following general criteria has been considered by the Committee:

- Domestic uses shall be generally preferred;
  - Uses not inherently a source of pollution within an area shall be preferred over uses that are or may be a pollution source;
  - Use locations within an area tending to minimize the possibility of pollution shall be preferred over use locations tending to increase that possibility.
- It is the staff's position that if the project is consistent with the adjacent uses and the project will not result in a significant source of pollution.

**14.2(2)(c)1** Does the proposed use comply with all applicable provisions of the Shoreland Ordinance?

- It is the staff's position that the project complies with all applicable provisions of the Shoreland Protection Ordinance and the Dodge County Floodplain Ordinance.

**Dodge County Planning, Development and Parks Committee Decision**

**County Shoreland Conditional Use Permit Application #2017-0764**

**Applicant (Agent):**

Anthony Foss  
5587 E Waterford Road  
Hartford, WI 53027

**Owner:**

Janis Kengis Irrevocable Trust 2012  
P.O. Box 648  
Waukesha, WI 53187

**Filing Date: September 21, 2017**

**Hearing Date: November 20, 2017**

**Location**

PIN#: 002-0917-1443-000

Location: Part of the SW of the SE ¼, Section 14, T09N, R14E, Town of Ashippun, the site address being W998 Washington Road.

**Applicants Request**

An application for a County Conditional Use Permit under the Dodge County Shoreland Protection Ordinance, was made by the applicant to allow filling and dredging within a navigable waterway associated with the removal and replacement of an existing private bridge with a culvert of the same size.

**CONCLUSIONS OF LAW**

**Based on the facts presented in the application and at the public hearing the Committee concludes that:**

**14.2(2)(c)** Conditional use permits shall be approved by the Committee if they find that all of the following criteria have been met:

**14.2(2)(c)2** Are there adequate assurances of continuing maintenance of safe and healthful conditions for the project site been provided?

(Yes / No)

If yes, what measures can be taken to mitigate any potential adverse effects?

\_\_\_\_\_

\_\_\_\_\_

**14.2(2)(c)3** Is the project designed to control water pollution and sedimentation?

(Yes / No)

If not, what measures can be taken to mitigate the water pollution or soil erosion problems with this project?

\_\_\_\_\_

\_\_\_\_\_

**14.2(2)(c)4** Is the project in compliance with Dodge County Floodplain Zoning Ordinance?

- Yes – The project is in compliance with the Dodge County Floodplain Zoning Ordinance;
- No – The project is not in compliance with the Dodge County Floodplain Zoning Ordinance;

If not, what measures can be taken to mitigate any potential Floodplain dangers?

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Is the project designed to prevent flood damage to adjacent properties due to altered surface water drainage of the site?

- Yes – The project is designed to prevent flood damage to the adjacent properties.
- No – The project as proposed will have an adverse effect on the adjacent properties as a result of the altered drainage pattern for this site.

If applicable, what measures can be taken to mitigate any potential adverse effects to the adjacent properties?

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**14.2(2)(c)5** Is the project designed to minimize soil erosion from the site during and after construction to the maximum practical extent?

(Yes / No)

If not, what can be done to minimize soil erosion from this site?

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**14.2(2)(c)6** Are public safety, transportation and utility facilities and services available to serve the subject property while maintaining sufficient levels of service for existing development?

(Yes / No)

If yes, what measures can be taken to mitigate the potential adverse effects on the access to this site?

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**14.2(2)(c)7** Will the proposed use cause substantial diminution in value of other property in the neighborhood in which it is located?

(Yes / No)

If not, what changes can be made to make the project more compatible with the adjacent uses?

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**14.2(2)(c)8** Is the project compatible with adjacent uses in terms of scale, site design, and any other external impacts?

(Yes / No)

If not, are there measures can be taken to minimize the incompatibility to the maximum extent possible:

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Will the proposed project be significantly detrimental to the public health, safety and welfare?

(Yes / No)

If not, are there measures can be taken to minimize the potential problems to the maximum extent possible:

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**14.2(2)(c)9** Will the project generate any liquid or solid wastes?

(Yes / No)

If wastes will be generated, are there adequate plans in place to dispose of the waste generated from this project?

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**14.2(2)(c)10** Is the project in conflict with the following general criteria?

- Domestic uses shall be generally preferred;
- Uses not inherently a source of pollution within an area shall be preferred over uses that are or may be a pollution source;
- Use locations within an area tending to minimize the possibility of pollution shall be preferred over use locations tending to increase that possibility.

(Yes / No)

If the project is in conflict with the general criterial listed above, can any measures be taken to minimize any potential adverse impacts to the maximum practical extent?

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**14.2(2)(c)1** Does the proposed use comply with all applicable provisions of the Shoreland Ordinance?

(Yes / No)

If not, what changes must be made to bring the project into compliance with the Ordinance?

\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_

**Are any conditions for approval needed in this case to mitigate any potential adverse impacts on the adjacent properties, the environment or the community?**

(Yes/No)

1. It shall be the responsibility of the applicant to obtain all other permits or approvals that may be required (e.g., Wisconsin Department of Natural Resources and/or U.S. Army Corps of Engineers) for the proposed project.
2. All disturbed areas shall be leveled and graded (as needed) and seeded to permanent vegetation as soon as possible to prevent erosion of silt/sediment into the waterway.
3. The proposed project shall not obstruct flow and shall not increase the regional flood height. The owner shall submit certification to the Department from a duly qualified engineer licensed to practice in the State of Wisconsin, certifying that the project will not obstruct flow and will not increase the regional flood height.
4. All erosion control measures required by the applicable Federal, State, County and Local codes shall be in place and shall be maintained throughout the duration of the project in accordance with Best Management Practices.
5. All work shall be done in accord with the plans and specifications submitted with the application.
6. The decision of the Committee is valid for one year.

Others

\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_

Does the committee believe that the Conditional Use Permit Request meets the approval criteria in Section 14.2(2) of the County Shoreland Protection Ordinance?

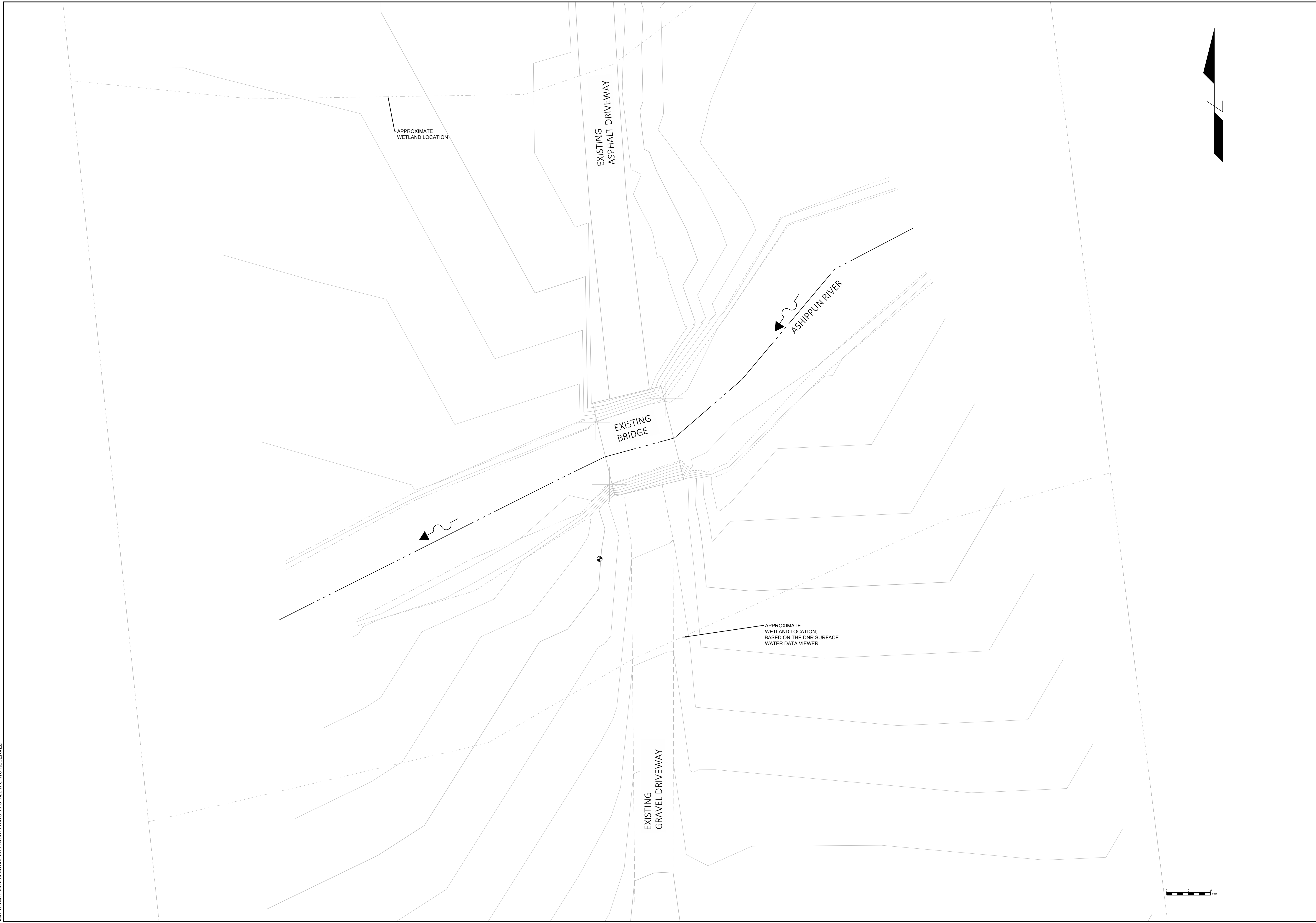
(Yes / No)

Motion by \_\_\_\_\_ to approve the conditional use permit request based upon the previously mentioned findings and conditions.

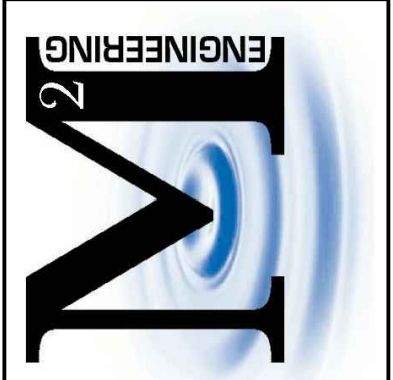
Motion second \_\_\_\_\_







**FOSS BRIDGE  
 REPLACEMENT  
 TOWN OF ASHIPGUN  
 EXISTING SITE PLAN**



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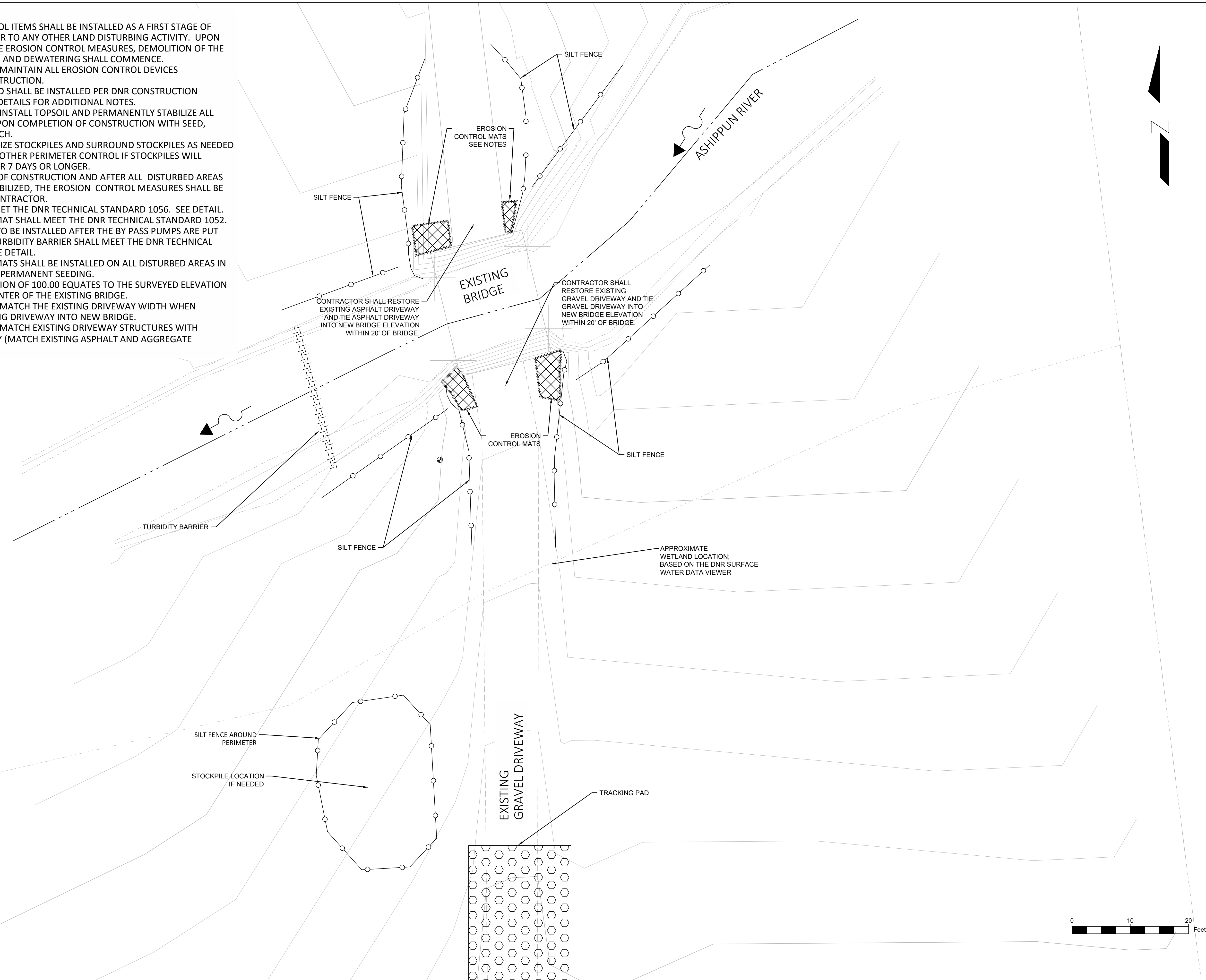
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**DATE:** 09/12/2017  
**CHECKED BY:**  
**HORIZ. SCALE:**  
**VERT. SCALE:**  
**PROJECT NO.** 17-188-023

REVISIONS	
DATE	REVISED BY:
09/14/2017	DMD



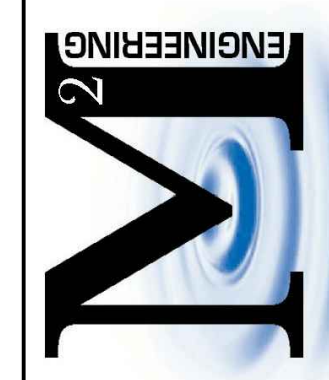
**NOTES:**

1. ALL EROSION CONTROL ITEMS SHALL BE INSTALLED AS A FIRST STAGE OF CONSTRUCTION PRIOR TO ANY OTHER LAND DISTURBING ACTIVITY. UPON INSTALLATION OF THE EROSION CONTROL MEASURES, DEMOLITION OF THE EXISTING STRUCTURE AND DEWATERING SHALL COMMENCE.
2. CONTRACTOR SHALL MAINTAIN ALL EROSION CONTROL DEVICES THROUGHOUT CONSTRUCTION.
3. STONE TRACKING PAD SHALL BE INSTALLED PER DNR CONSTRUCTION STANDARD 105. SEE DETAILS FOR ADDITIONAL NOTES.
3. CONTRACTOR SHALL INSTALL TOPSOIL AND PERMANENTLY STABILIZE ALL DISTURBED AREAS UPON COMPLETION OF CONSTRUCTION WITH SEED, FERTILIZER AND MULCH.
4. IMMEDIATELY STABILIZE STOCKPILES AND SURROUND STOCKPILES AS NEEDED WITH SILT FENCE OR OTHER PERIMETER CONTROL IF STOCKPILES WILL REMAIN INACTIVE FOR 7 DAYS OR LONGER.
5. UPON COMPLETION OF CONSTRUCTION AND AFTER ALL DISTURBED AREAS ON THE SITE ARE STABILIZED, THE EROSION CONTROL MEASURES SHALL BE REMOVED BY THE CONTRACTOR.
6. SILT FENCE SHALL MEET THE DNR TECHNICAL STANDARD 1056. SEE DETAIL.
7. EROSION CONTROL MAT SHALL MEET THE DNR TECHNICAL STANDARD 1052.
8. TURBIDITY BARRIER TO BE INSTALLED AFTER THE BY PASS PUMPS ARE PUT INTO OPERATION. TURBIDITY BARRIER SHALL MEET THE DNR TECHNICAL STANDARD 1069. SEE DETAIL.
9. EROSION CONTROL MATS SHALL BE INSTALLED ON ALL DISTURBED AREAS IN CONJUNCTION WITH PERMANENT SEEDING.
10. BRIDGE PLAN ELEVATION OF 100.00 EQUATES TO THE SURVEYED ELEVATION OF 946.58 AT THE CENTER OF THE EXISTING BRIDGE.
11. CONTRACTOR SHALL MATCH THE EXISTING DRIVEWAY WIDTH WHEN RESTORING AND TYING DRIVEWAY INTO NEW BRIDGE.
12. CONTRACTOR SHALL MATCH EXISTING DRIVEWAY STRUCTURES WITH RESTORED DRIVEWAY (MATCH EXISTING ASPHALT AND AGGREGATE THICKNESS).



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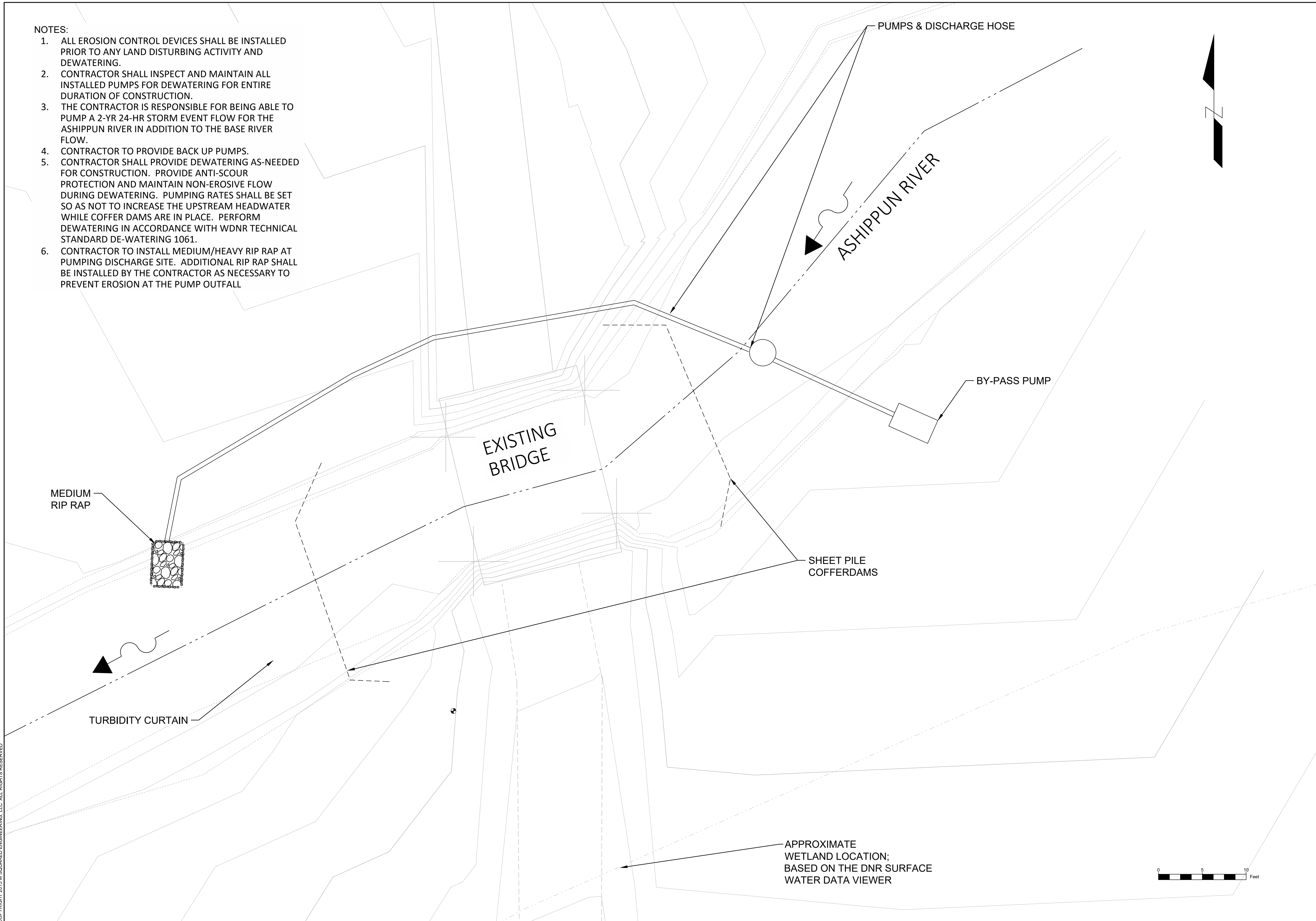
**FOSSE BRIDGE  
 REPLACEMENT  
 TOWN OF ASHIPUN  
 EROSION CONTROL PLAN**

DRAWN BY: DMD  
 DATE: 09/12/2017  
 CHECKED BY:  
 HORIZ. SCALE:  
 VERT. SCALE:  
 PROJECT NO. 17-188-023

REVISIONS	
DATE:	REVISED BY:
09/14/2017	DMD

NOTES:

1. ALL EROSION CONTROL DEVICES SHALL BE INSTALLED PRIOR TO ANY LAND DISTURBING ACTIVITY AND DEWATERING.
2. CONTRACTOR SHALL INSPECT AND MAINTAIN ALL INSTALLED PUMPS FOR DEWATERING FOR ENTIRE DURATION OF CONSTRUCTION.
3. THE CONTRACTOR IS RESPONSIBLE FOR BEING ABLE TO PUMP A 2-YR 24-HR STORM EVENT FLOW FOR THE ASHIPGUN RIVER IN ADDITION TO THE BASE RIVER FLOW.
4. CONTRACTOR TO PROVIDE BACK UP PUMPS.
5. CONTRACTOR SHALL PROVIDE DEWATERING AS-NEEDED FOR CONSTRUCTION. PROVIDE ANTI-SCOUR PROTECTION AND MAINTAIN NON-EROSIVE FLOW DURING DEWATERING. PUMPING RATES SHALL BE SET SO AS NOT TO INCREASE THE UPSTREAM HEADWATER WHILE COFFER DAMS ARE IN PLACE. PERFORM DEWATERING IN ACCORDANCE WITH WDNR TECHNICAL STANDARD DE-WATERING 1061.
6. CONTRACTOR TO INSTALL MEDIUM/HEAVY RIP RAP AT PUMPING DISCHARGE SITE. ADDITIONAL RIP RAP SHALL BE INSTALLED BY THE CONTRACTOR AS NECESSARY TO PREVENT EROSION AT THE PUMP OUTFALL



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**FOSS BRIDGE  
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 TOWN OF ASHIPGUN  
 DEWATERING PLAN**

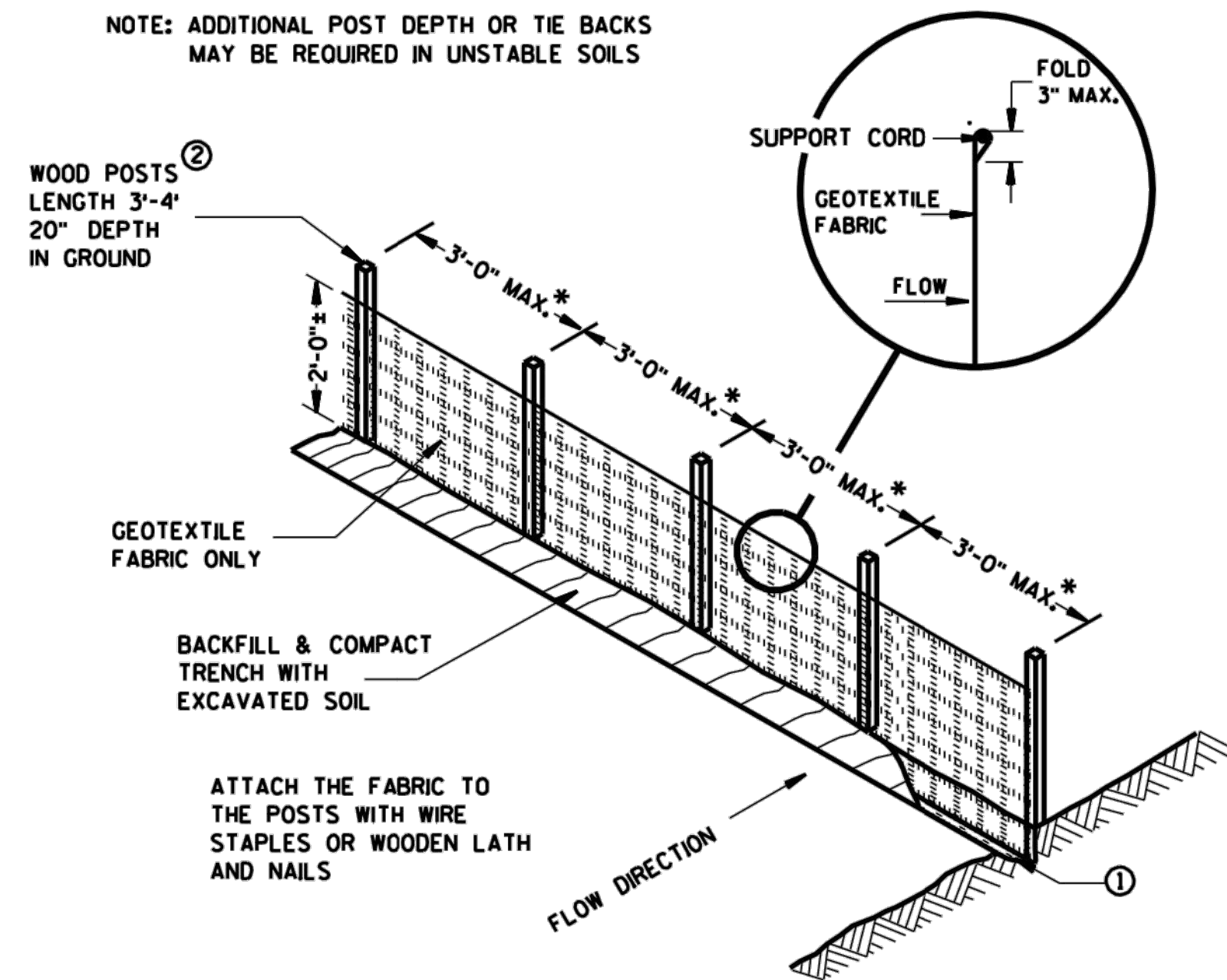
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 PROJECT NO. 17-188-023

**REVISIONS**  
 DATE: REVISOR:  
 09/14/2017 DMD

**GENERAL NOTES**

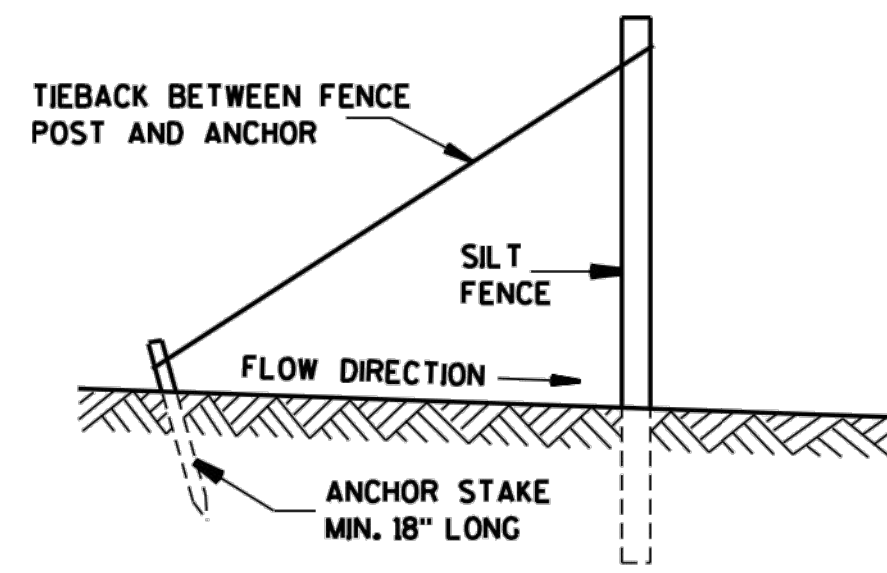
- ① TRENCH SHALL BE A MINIMUM OF 4" WIDE & 6" DEEP TO BURY AND ANCHOR THE GEOTEXTILE FABRIC. FOLD MATERIAL TO FIT TRENCH AND BACKFILL & COMPACT TRENCH WITH EXCAVATED SOIL.
- ② WOOD POSTS SHALL BE A MINIMUM SIZE OF 1 1/8" X 1 1/8" OF OAK OR HICKORY.
- ③ CONSTRUCT SILT FENCE FROM A CONTINUOUS ROLL IF POSSIBLE BY CUTTING LENGTHS TO AVOID JOINTS. IF A JOINT IS NECESSARY USE ONE OF THE FOLLOWING TWO METHODS: A) TWIST METHOD -- OVERLAP THE END POSTS AND TWIST, OR ROTATE, AT LEAST 180 DEGREES, B) HOOK METHOD -- HOOK THE END OF EACH SILT FENCE LENGTH.

NOTE: ADDITIONAL POST DEPTH OR TIE BACKS MAY BE REQUIRED IN UNSTABLE SOILS

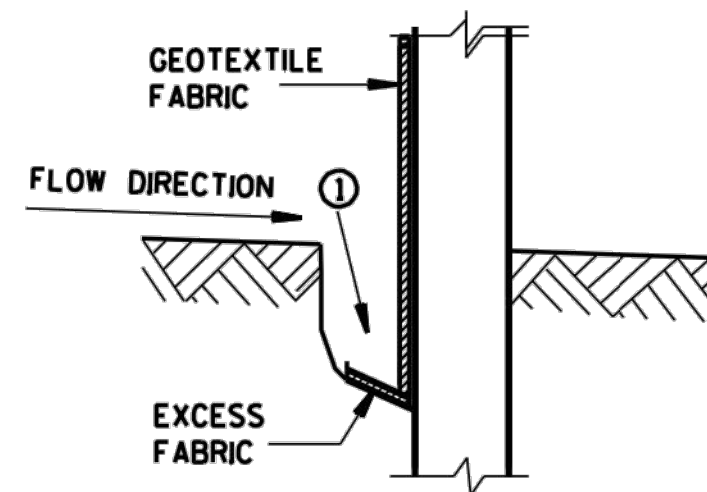


\*NOTE: 8'-0" POST SPACING ALLOWED IF A WOVEN GEOTEXTILE FABRIC IS USED.

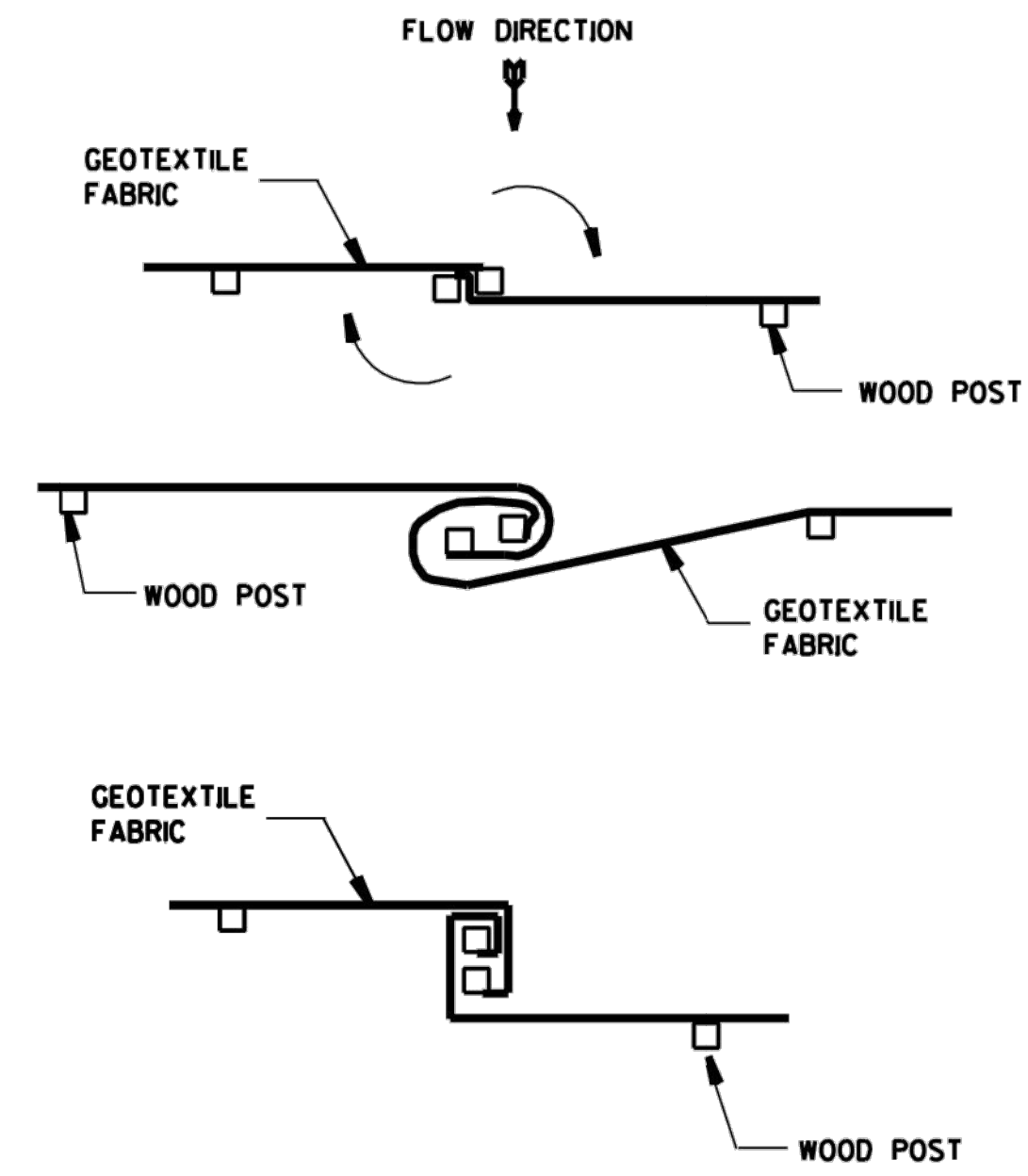
**SILT FENCE**



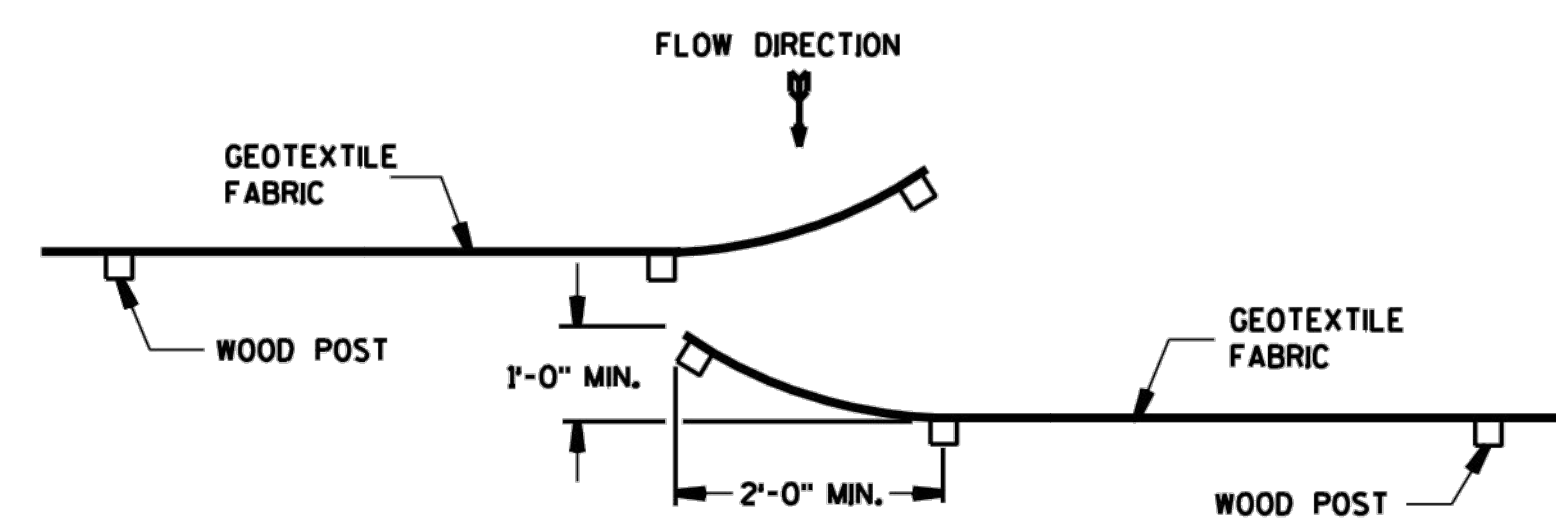
**SILT FENCE TIE BACK  
(WHEN ADDITIONAL SUPPORT REQUIRED)**



**TRENCH DETAIL**



**TWIST METHOD**



**HOOK METHOD**

**JOINING TWO LENGTHS OF SILT FENCE**

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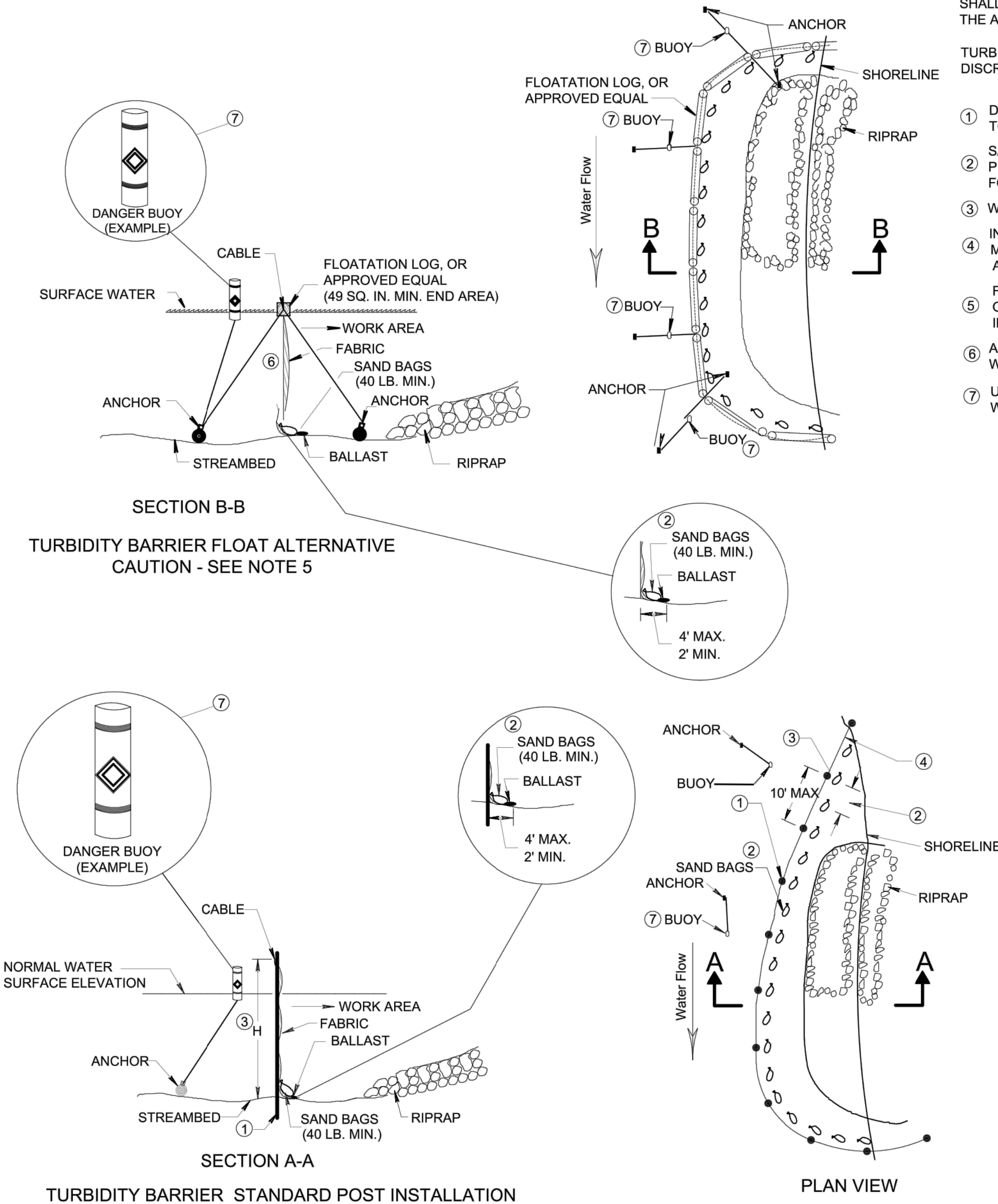


**FOSS BRIDGE  
 REPALCMNT  
 TOWN OF ASHIPPUN  
 DETAILS**

DRAWN BY:	DMD
DATE:	09/12/2017
CHECKED BY:	
HORIZ. SCALE:	
VERT. SCALE:	
PROJECT NO.	17-188-023

REVISIONS	
DATE:	REVISED BY:
09/14/2017	DMD

Figure 1. Turbidity Barrier Placement Details



**GENERAL NOTES**

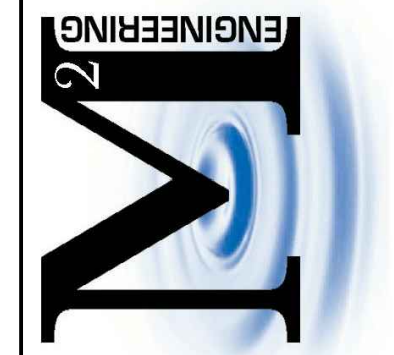
DETAILS OF CONSTRUCTION, MATERIALS AND WORKMANSHIP NOT SHOWN ON THIS DRAWING SHALL CONFORM TO THE PERTINENT REQUIREMENTS OF THE STANDARD AND THE APPLICABLE SPECIAL PROVISIONS

TURBIDITY BARRIER MAY BE REMOVED AT THE ENGINEERS OR PROJECT MANAGERS DISCRETION, WHEN PERMANENT EROSION CONTROL MEASURES HAVE BEEN ESTABLISHED.

- ① DRIVEN STEEL POSTS, PIPES, OR CHANNELS. LENGTH SHALL BE SUFFICIENT TO SECURELY SUPPORT BARRIER AT HIGH WATER ELEVATIONS.
- ② SANDBAGS TO BE USED AS ADDITIONAL BALLAST WHEN ORDERED BY THE ENGINEER OR PROJECT MANAGER TO MEET ADVERSE FIELD CONDITIONS. SPACE AS APPROPRIATE FOR SITE CONDITIONS.
- ③ WHEN BARRIER HEIGHT, H, EXCEEDS 8 FT., POST SPACING MAY NEED TO BE DECREASED.
- ④ IN WATERWAYS SUBJECT TO FLUCTUATING WATER ELEVATIONS, PROVISIONS SHOULD BE MADE TO ALLOW THE WATER TO EQUALIZE ON EACH SIDE OF THE BARRIER. THIS MAY BE ACCOMPLISHED BY LEAVING A PORTION OF THE BARRIER OPEN ON THE UPSTREAM END.
- ⑤ FLOAT ALTERNATIVE WILL ONLY BE ALLOWED WITH WRITTEN APPROVAL OF THE ENGINEER OR PROJECT MANAGER, AND IS MEANT FOR LOCATIONS WHERE BED ROCK PREVENTS THE INSTALLATION OF POSTS.
- ⑥ ALLOW SUFFICIENT SLACK VERTICALLY AND HORIZONTALLY SO THAT SEDIMENT BUILD UP WILL NOT SEPARATE OR LOWER THE TURBIDITY BARRIER.
- ⑦ USE AS DIRECTED BY COAST GUARD OR DNR PERMIT WHEN WORKING IN NAVIGABLE WATERWAYS.

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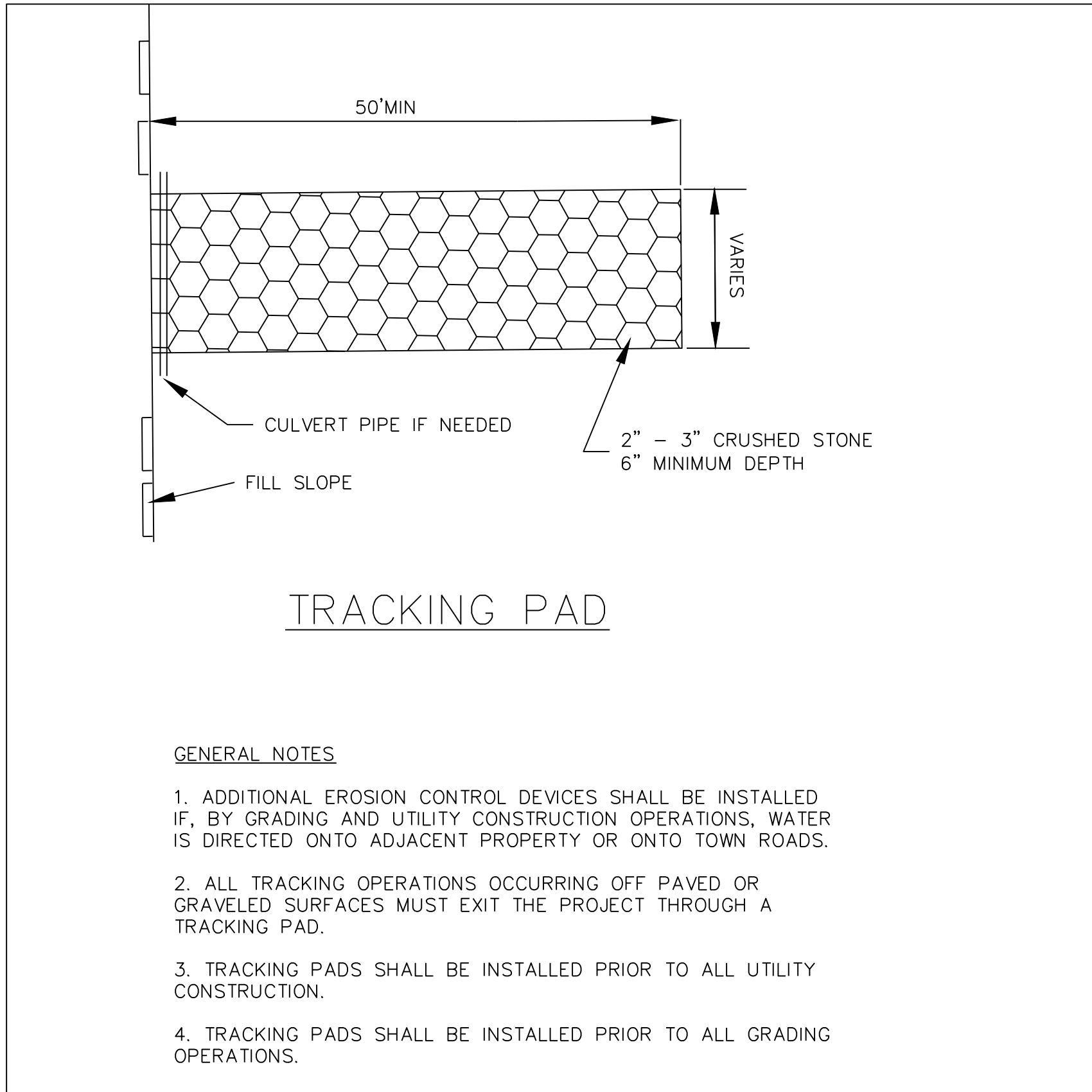
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DETAILS**

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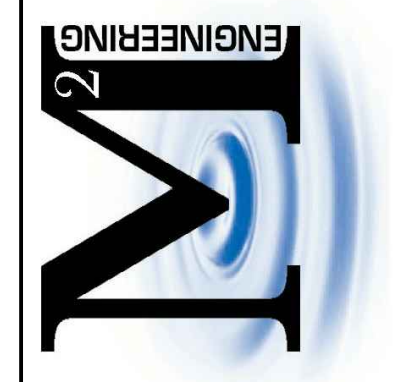
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**FOSS BRIDGE  
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 DETAILS**

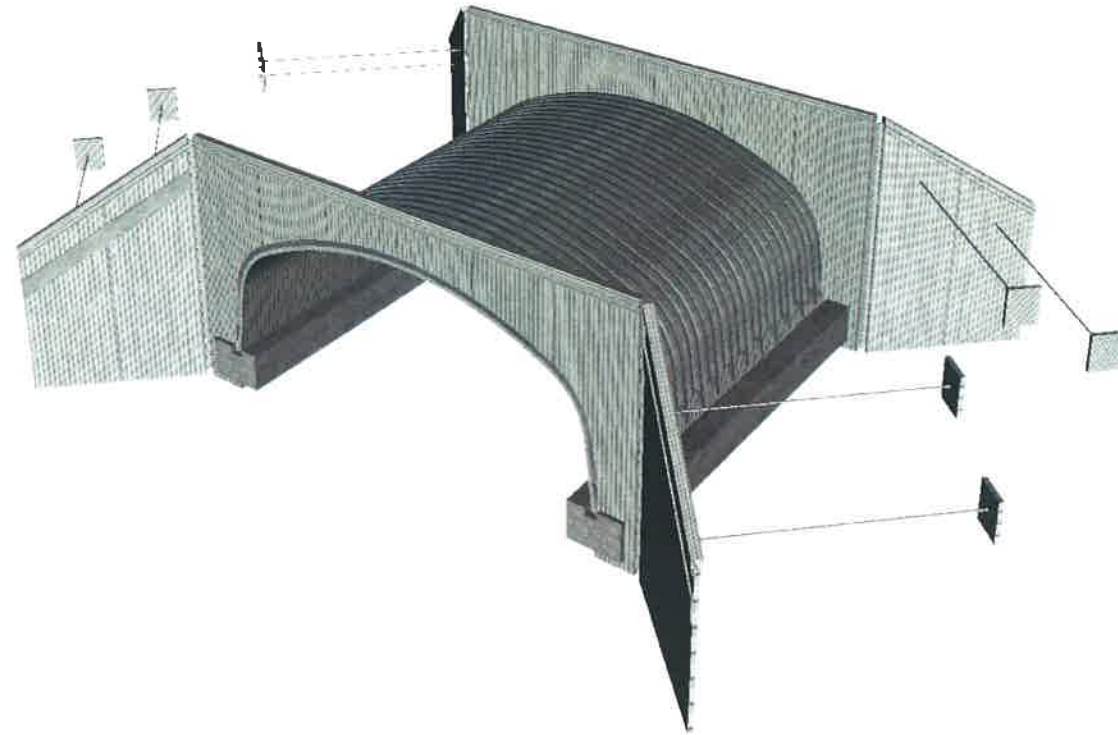
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<b>HORIZ. SCALE:</b>	
<b>VERT. SCALE:</b>	
<b>PROJECT NO.</b>	17-188-023

<b>REVISIONS</b>	
<b>DATE:</b>	<b>REVISED BY:</b>
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HS-25 LOADING  
1.5' COVER



# CONTECH ALBC DYOB

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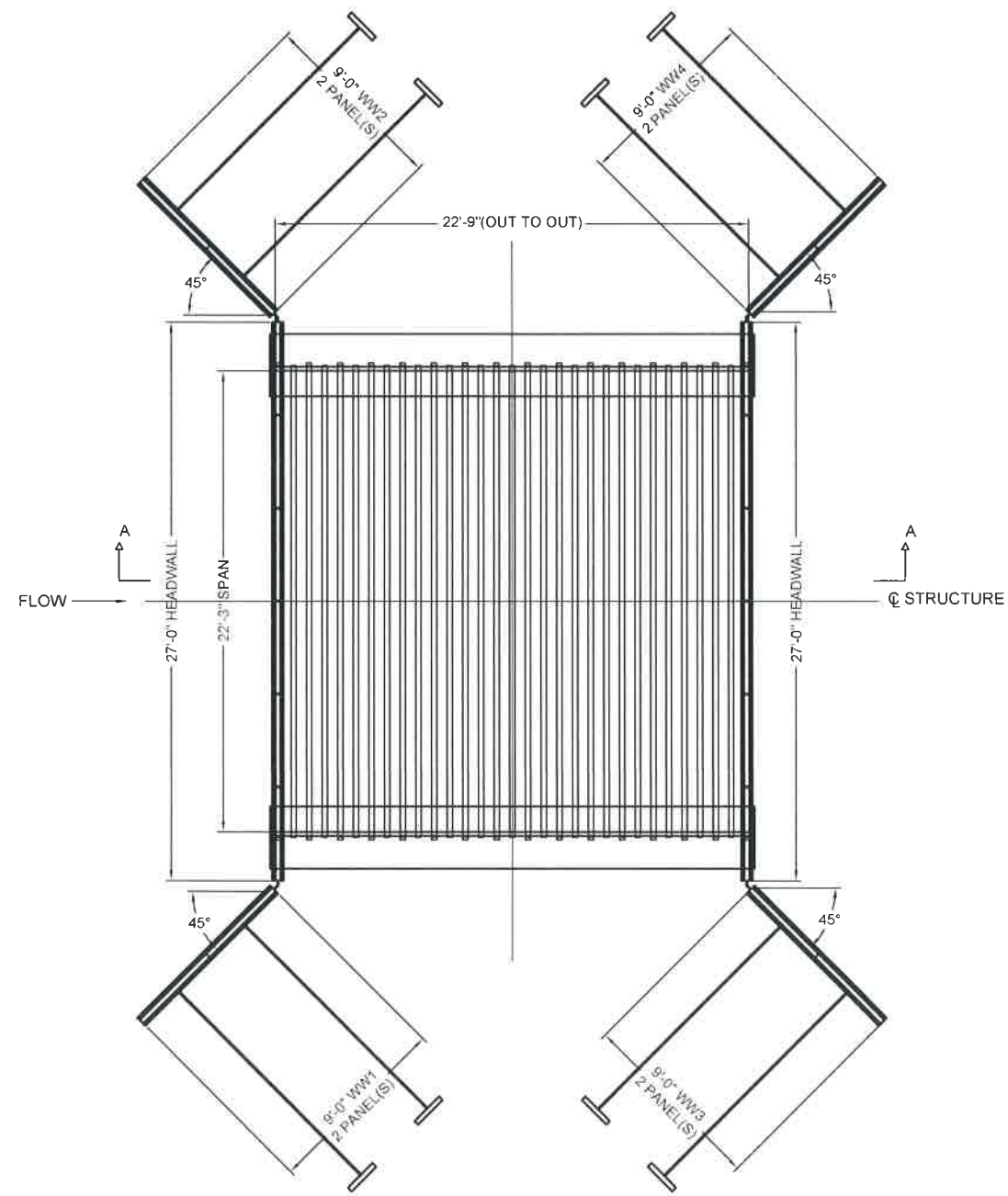
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800-338-1122 513-645-7000 513-645-7993 FAX

**CONTECH**  
STRUCTURAL PLATE  
DYOB  
DRAWING

ALBC 64, 22'-3" Span x 7'-3" Rise  
Shell Designation = F6  
Tony Foss  
Ashippun, Wisconsin

PROJECT No DYO212085	DATE 9/19/2017
DESIGNED DYO	DRAWN DYO
CHECKED DYO	APPROVED DYO
<b>COVER SHEET</b>	



BRIDGE PLAN  
0 2 4 8'

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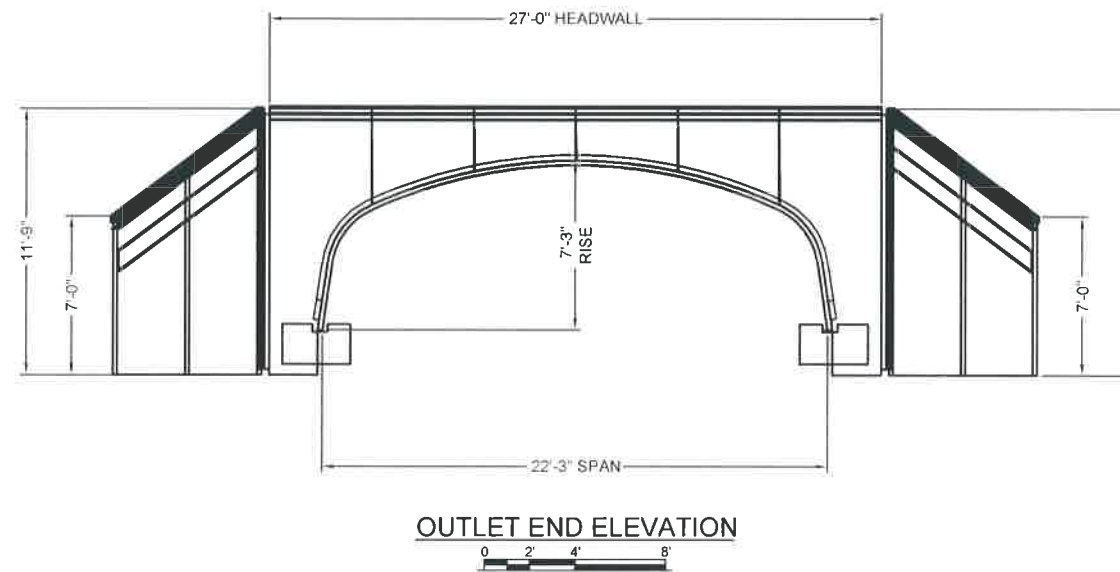
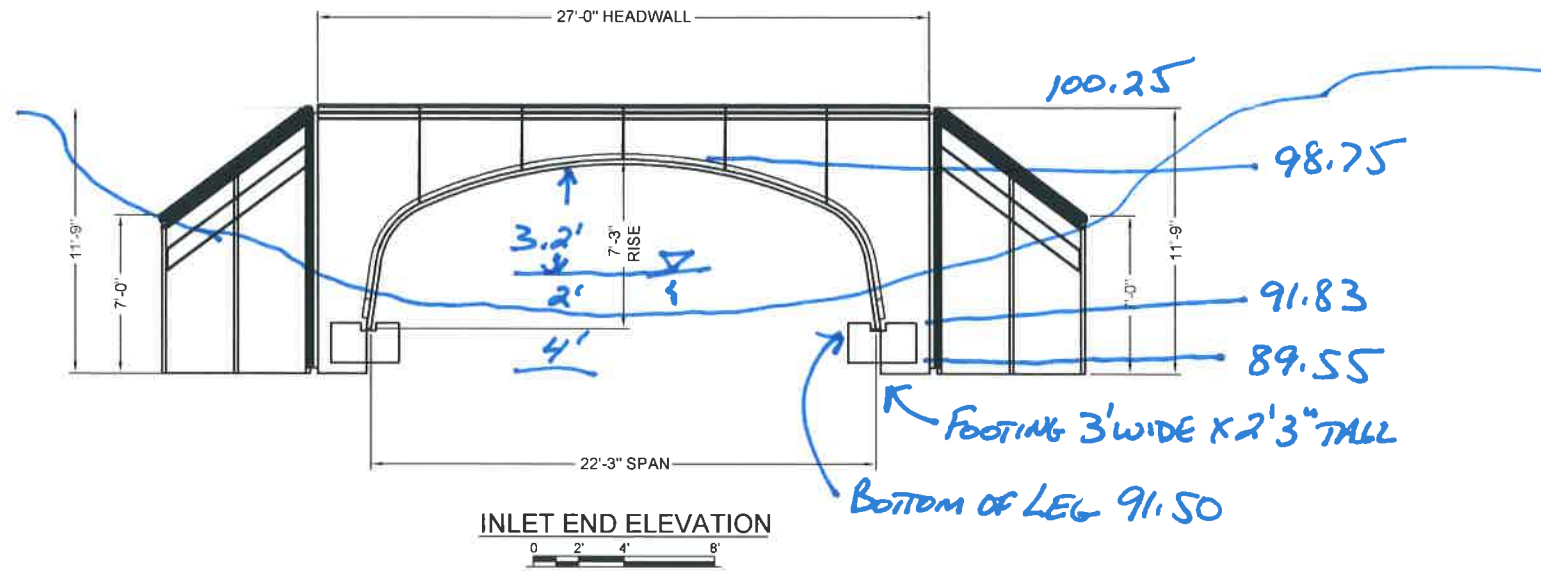
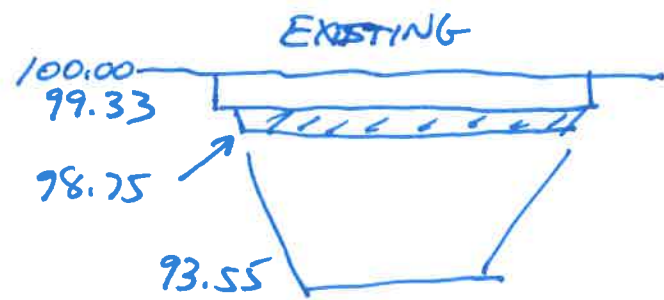
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**DYOB**  
DRAWING

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Shell Designation = F6  
Tony Foss  
Ashippun, Wisconsin

PROJECT No DYO212085	DATE 9/19/2017
DESIGNED DYO	DRAWN DYO
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SHEET NO 1 of 6	



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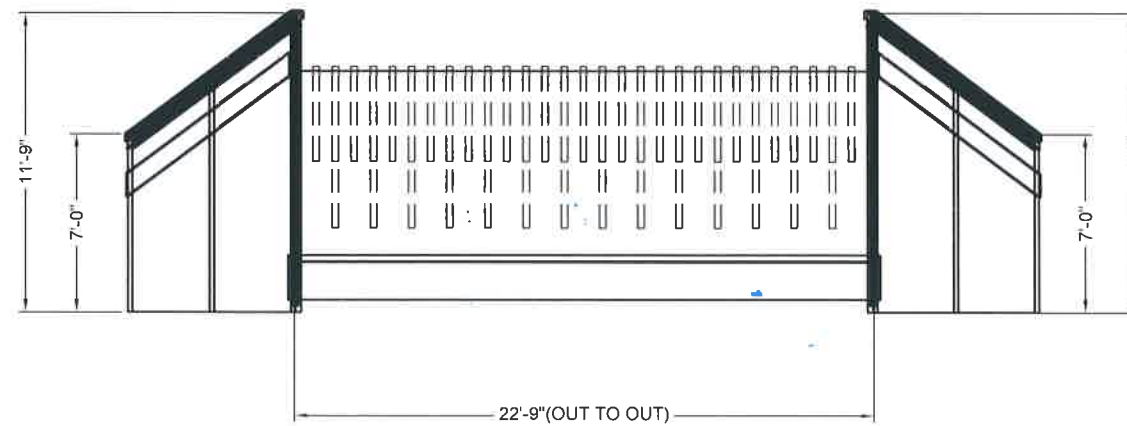
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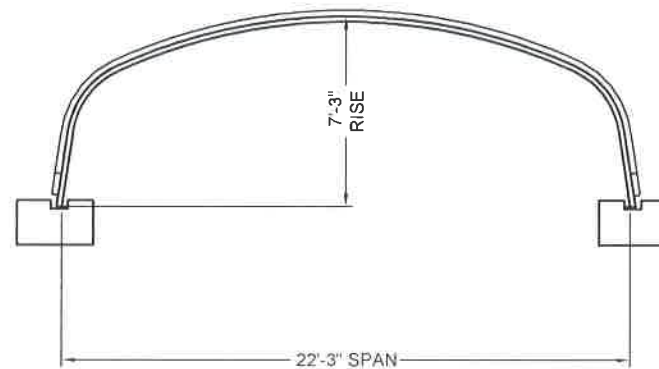
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Tony Foss  
Ashippun, Wisconsin

PROJECT No DYO212085	DATE 9/19/2017
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SHEET NO 2	OF 6





SECTION A-A  
 0 2' 4' 8'



CROSS SECTION  
 0 2' 4' 8'

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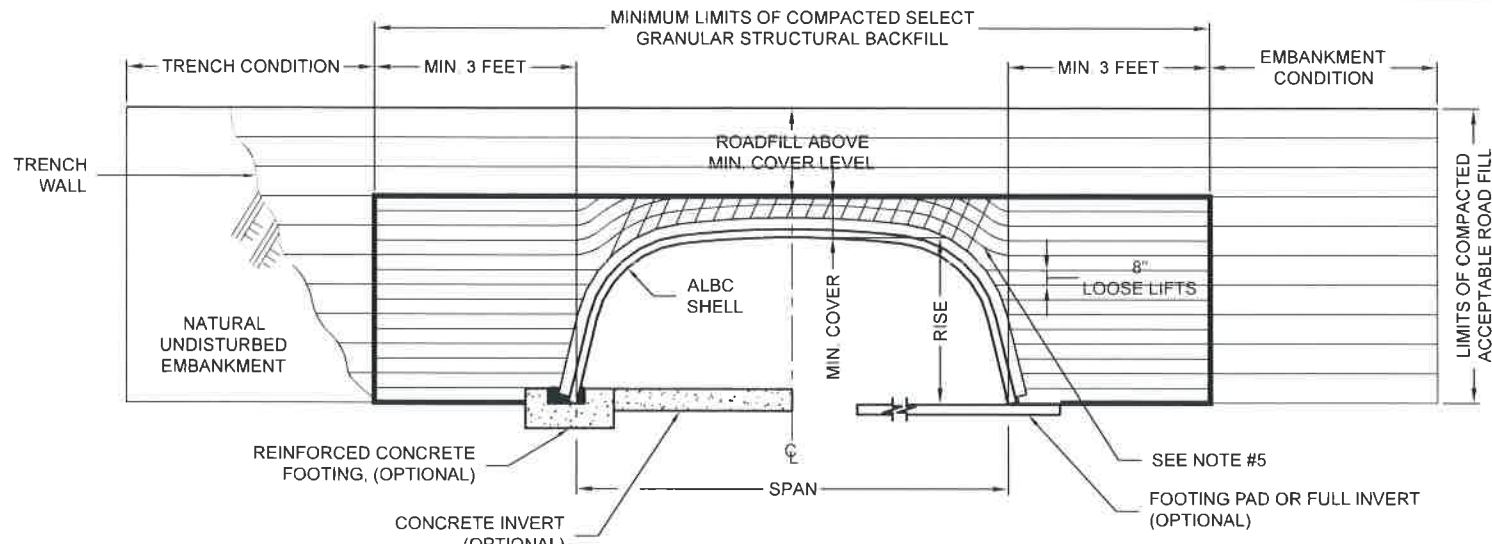
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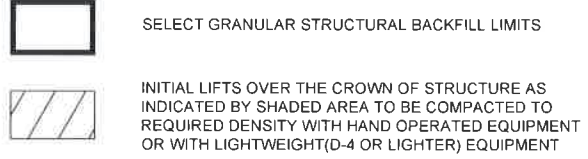
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 DYOB  
 DRAWING

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 Shell Designation = F6  
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**SECTION**



**NOTES:**

- 1 ALL SELECT GRANULAR BACKFILL TO BE PLACED IN A BALANCED FASHION IN THIN LIFTS (8" LOOSE TYPICALLY) AND COMPACTED TO 90 PERCENT DENSITY PER AASHTO T-180
- 2 COMPLETE AND REGULAR MONITORING OF THE ALUMINUM BOX CULVERT SHAPE IS NECESSARY DURING ALL BACKFILLING OF THE STRUCTURE
- 3 PREVENT DISTORTION OF SHAPE AS NECESSARY BY VARYING COMPACTION METHODS AND EQUIPMENT
- 4 TRENCH WIDTH OTHER THAN 3 FEET SHALL BE BY DIRECTION OF THE ENGINEER OF RECORD
- 5 SWITCH TO PLACING SELECT GRANULAR BACKFILL NEAR IN RADIAL LIFTS THE MIDDLE OF THE HAUNCH CURVE

**ADDITIONAL SELECT GRANULAR STRUCTURAL BACKFILL NOTES**

SATISFACTORY BACKFILL MATERIAL, PROPER PLACEMENT AND COMPACTION ARE KEY FACTORS IN OBTAINING MAXIMUM STRENGTH AND STABILITY.

THE BACKFILL MATERIAL SHOULD BE FREE OF ROCKS, FROZEN LUMPS, AND FOREIGN MATERIAL THAT COULD CAUSE HARD SPOTS OR DECOMPOSE TO CREATE VOIDS. BACKFILL MATERIAL SHOULD BE WELL GRADED GRANULAR MATERIAL THAT MEETS THE REQUIREMENTS OF AASHTO M-145 FOR SOIL CLASSIFICATIONS A-1, A-2-4, A-2-5, OR A-3 MODIFIED

SEE THE STRUCTURAL PLATE BACKFILL GROUP CLASSIFICATION TABLE ON THIS SHEET. BACKFILL MUST BE PLACED SYMMETRICALLY ON EACH SIDE OF THE STRUCTURE IN 8" LOOSE LIFTS. EACH LIFT IS TO BE COMPACTED TO A MINIMUM OF 90% DENSITY PER AASHTO T-180

A HIGH PERCENTAGE OF SILT OR FINE SAND IN THE NATIVE SOILS SUGGESTS THE NEED FOR A WELL GRADED GRANULAR BACKFILL MATERIAL TO PREVENT SOIL MIGRATION. IF THE PROPOSED BACKFILL IS NOT A WELL-GRADED MATERIAL, A NON-WOVEN GEOTEXTILE FILTER FABRIC SHALL BE PLACED BETWEEN THE SELECT BACKFILL AND THE IN SITU MATERIAL.

DURING BACKFILL, ONLY LIGHTWEIGHT TRACKED VEHICLES (D-4 OR LIGHTER) SHOULD BE NEAR THE STRUCTURE AS FILL PROGRESSES ABOVE THE CROWN AND TO THE FINISHED GRADE. THE ENGINEER AND CONTRACTOR ARE CAUTIONED THAT THE MINIMUM COVER MAY NEED TO BE INCREASED TO HANDLE TEMPORARY CONSTRUCTION VEHICLE LOADS (HEAVIER THAN D-4)

STRUCTURAL PLATE BACKFILL GROUP CLASSIFICATION, REFERENCE AASHTO M-145					
GROUP CLASSIFICATION	A-1-a	A-1-b	A-2-4	A-2-5	A-3
Sieve Analysis Percent Passing					
No. 10 (2 000 mm)	50 max.	----	----	----	----
No. 40 (0.425 mm)	30 max.	50 max.	----	----	51 max.*
No. 200 (0.075 mm)	15 max.	25 max.	35 max.	35 max.	10 max.
Atterberg Limits for Fraction Passing No. 40 (0.425 mm)					
Liquid Limits	----	----	40 max.	41 min.	----
Plasticity Index	6 max.	6 max.	10 max.	10 max.	Non Plastic
Usual Materials	Stone Fragment, Gravel and Sand		Silty or Clayey Gravel and Sand		Coarse Sand

\*Modified from M-145

Fine beach sands, windblown sands, stream deposited sands, etc., exhibiting fine, rounded particles and typically classified by AASHTO M-145 as A-3 materials should not be used

Reference the most current version of ASTM D2487, Standard Practice for Classification of Soils for Engineering Purposes (Unified Soil Classification System), for comparable soil groups

- 10 STANDARDS AND DEFINITIONS**
- 11 STANDARDS - All standards refer to the current ASTM/AASHTO edition unless otherwise noted
  - 11.1 ASTM B-864 "Standard Specification for Corrugated Aluminum Box Culverts" (AASHTO Designation M-219)
  - 11.2 AASHTO Standard Specification for Highway Bridges - Section 12 Division I - Design, AASHTO LRFD Bridge Design Specifications Section 12
  - 11.3 AASHTO Standard Specification for Highway Bridges - Section 26 Division II - Construction, AASHTO LRFD Bridge Construction Specifications - Section 26 ASTM B789, Standard Practice for Installing Corrugated Aluminum Structural Plate Pipe
- 12 DEFINITIONS**
- 12.1 Owner - In these specifications the word "Owner" shall mean
  - 12.2 Engineer - In these specifications the word "Engineer" shall mean the Engineer of Record or Owner's designated engineering representative
  - 12.3 Manufacturer - In these specifications the word "Manufacturer" shall mean CONTECH ENGINEERED SOLUTIONS 800-338-1122
  - 12.4 Contractor - In these specifications the word "Contractor" shall mean the firm or corporation undertaking the execution of any installation work under the terms of these specifications
  - 12.5 Approved - In these specifications the word "approved" shall refer to the approval of the Engineer or his designated representative
  - 12.6 As Directed - In these specifications the words "as directed" shall refer to the directions to the Contractor from the Owner or his designated representative
- 20 GENERAL CONDITIONS**
- 21 Any installation guidance provided herein shall be endorsed by the engineer, discrepancies herein are governed by the Engineer's plans and specifications
  - 22 The Contractor shall furnish all labor, material and equipment and perform all work and services except those set out and furnished by the Owner, necessary to complete in a satisfactory manner the site preparation, excavation, filling, compaction, grading as shown on the plans and as described therein. This work shall consist of all mobilization, clearing and grading, grubbing, stripping, removal of existing material unless otherwise stated, preparation of the land to be filled, filling of the land, spreading and compaction of the fill, and all subsidiary work necessary to complete the grading of the cut and fill areas to conform with the lines, grades, slopes, and specifications. This work is to be accomplished under the observation of the Owner or his designated representative
  - 23 Prior to bidding the work, the Contractor shall examine, investigate and inspect the construction site as to the nature and location of the work, and the general and local conditions at the construction site, including without limitation, the character of surface or subsurface conditions and obstacles to be encountered on and around the construction site and shall make such additional investigation as he may deem necessary for the planning and proper execution of the work
- If conditions other than those indicated are discovered by the Contractor, the Owner shall be notified immediately. The material which the Contractor believes to be a changed condition shall not be disturbed so that the owner can investigate the condition
- 24 The construction shall be performed under the direction of the Engineer
  - 25 All aspects of the structure design and site layout including foundations, backfill, end treatments and necessary scour consideration shall be performed by the Engineer
- 30 ASSEMBLY AND INSTALLATION**
- 31 Bolts and nuts shall conform to the requirements of ASTM A-307 and/or ASTM A-449. The box culvert shall be assembled in accordance with the plate layout drawings provided by the manufacturer and per the manufacturer's recommendations.  
  
Bolts shall be tightened using an applied torque of between 100 and 150 ft.-lbs.
  - 32 The box culvert shall be installed in accordance with the plans and specifications, the manufacturer's recommendations, and AASHTO Standard Specification for Highway Bridges - Section 26 Division II - Construction/AASHTO LRFD Bridge Construction Specifications - Section 26.
  - 33 Trench excavation shall be made in embankment material that is structurally adequate. The trench width shall be shown on the plans. Poor quality in situ embankment material must be removed and replaced with suitable backfill as directed by the Engineer
  - 34 Aluminum Box Culvert designs require a minimum allowable soil-bearing pressure of 4,000 psf. Lower bearing capacities may be accommodated with a site specific design for an aluminum foundation or a concrete footing.  
  
If the engineer determines the natural foundation is inadequate to support the structure's backfill, the poor material shall be excavated, removed and replaced to a suitable depth with competent material. The specific depth of excavation required may be reduced by utilizing a geosynthetic reinforced foundation as designed by a qualified geotechnical engineer. For additional information contact your local Contech representative
  - 35 When a metal foundation is used, the soil bedding requires a minimum of 6 inches of loose granular material with a maximum particle size of one half the corrugation depth. The proper width of the bedding material required shall conform to the project plans and specifications.  
  
Bedding preparation is critical to both structure performance and service life. The bedding should be constructed to uniform line and grade to avoid distortions that may create undesirable stresses in the structure and/or rapid deterioration of the roadway. The bed should be free of rock formations, protruding stones, frozen lumps, roots, and other foreign matter that may cause unequal settlement
  - 36 The structure shall be assembled in accordance with the Manufacturer's instructions. All plates shall be unloaded and handled with reasonable care. Plates shall not be rolled or dragged over gravel rock and shall be prevented from striking rock or other hard objects during placement in trench or on bedding.  
  
When installed on a full invert or on flexible footing pads, assembly of the invert or footing pads shall start at the downstream end. Circumferential seam laps shall shingle over the top of the downstream plates as assembly progresses upstream. Whether the box culvert is installed on a concrete footing, full metal invert, or flexible footing pad, assembly of the structure shell shall start at the upstream end. Downstream rings of plates shall be assembled outside of the upstream rings (Circumferential seams are shingled downstream when viewed from the inside of the shell)
  - 37 The structure shall be backfilled using clean well graded granular material that meets the requirements for soil classifications A-1, A-2-4, A-2-5, or A-3 modified per AASHTO M-145. See the structural plate backfill group classification table on this sheet.  
  
Backfill must be placed symmetrically on each side of the structure in 8 inch loose lifts. Each lift shall be compacted to a minimum of 90 percent density per AASHTO T-180
  - 38 Standard highway loads that meet the permissible design load limits for an Aluminum Box Culvert are not allowed on the structure until it is backfilled completely and pavement is in place.  
  
The addition of temporary soil for heavy construction loads is not feasible or permissible for Aluminum Box Culverts. By design, these structures are limited in the range of permissible fill heights and live loads.  
  
Heavy construction loads that exceed that of the particular highway live load design limits are not allowed on Aluminum Box Culverts without approval from the Engineer.
  - 39 If an aluminum headwall and/or wingwall system is specified, the select granular structural backfill limits shall extend past the deadman anchor system. Contact the Engineer if stiff material or rock is encountered where the wingwalls and deadmen are to be installed.

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The contract lies between the project owner and the engineer. The engineer is not responsible for the contractor's compliance with the drawing or information shown on this drawing. Contech is not responsible for the contractor's compliance with the drawing or information shown on this drawing. Contech accepts no liability for design errors or omissions, or for any and all claims, damages, or losses, or for any and all claims, damages, or losses, or for any and all claims, damages, or losses, or for any and all claims, damages, or losses, or for any and all claims, damages, or losses.

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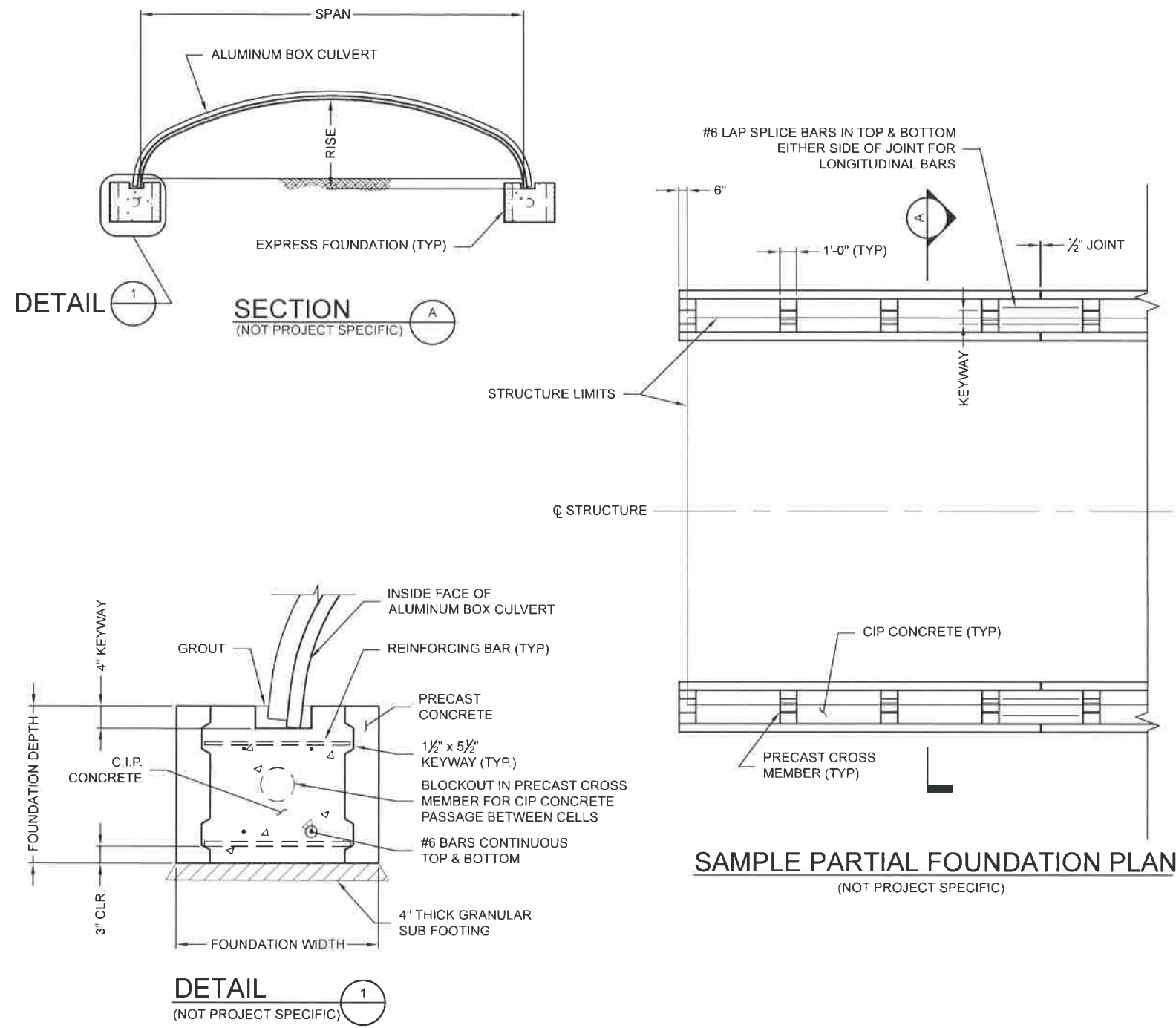
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**DYOB**  
DRAWING

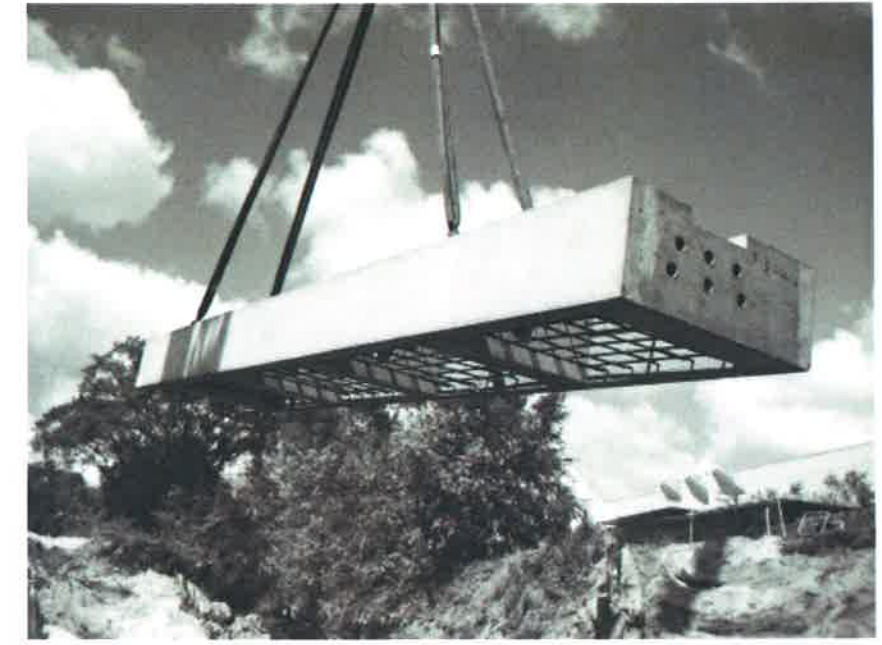
ALBC 64, 22'-3" Span x 7'-3" Rise  
Shell Designation = F6  
Tony Foss  
Ashippun, Wisconsin

PROJECT No DYO212085	DATE 9/19/2017
DESIGNED DYO	DRAWN DYO
CHECKED DYO	APPROVED DYO
SHEET NO 4	OF 6

SAMPLE DRAWING ONLY



**EXPRESS FOUNDATIONS**



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PROJECT No DYO212085	DATE 9/19/2017
DESIGNED DYO	DRAWN DYO
CHECKED DYO	APPROVED DYO
SHEET NO 5	OF 6

**DODGE COUNTY PLANNING, DEVELOPMENT AND PARKS COMMITTEE  
MINUTES  
November 6, 2017**

The Dodge County Planning, Development and Parks Committee met on November 6, 2017 at 7:00 p.m. on the 1<sup>st</sup> Floor of the Administration Building, Juneau, Wisconsin.

Chairman Schaefer called the meeting to order. Roll Call was taken. Members present were Tom Schaefer, Allen Behl, William Muche, Joseph Marsik and Janice Bobholz. The staff present at the request of the Chairman were Bill Ehlenbeck and Joseph Giebel. Jim Mielke was also in attendance.

The Chairman asked the staff to confirm compliance with the open meeting laws and the public hearing notice requirements. Mr. Giebel noted that the meeting was properly noticed in accord with the open meeting law and noted that the required notices for the public hearings listed on the agenda were posted, mailed and published in accord with the statute and code requirements.

The agenda was reviewed.

Motion by William Muche to approve the agenda and allow the Chairperson to go out of order as needed to efficiently conduct the meeting. Second: Allen Behl Motion carried.

**The hearing procedures were read into the record.**

**PUBLIC HEARING**

**Gerald Sitor** - Request for a Conditional Use Permit under the Land Use Code, Dodge County, Wisconsin to allow for the creation of an approximate 2.3-acre nonfarm single family residential lot within the A-1 Prime Agricultural Zoning District. The property is located in part of the NW ¼ of the NE ¼, Section 33, Town of Oak Grove, the site address being W6255 Shady Lane Road.

Motion by Bill Muche to approve the request to allow for the creation of an approximate 2.3-acre nonfarm single family residential lot within the A-1 Prime Agricultural Zoning District subject to the following conditions:

1. The applicant shall obtain the required land division approvals for the proposed lot from the County and local municipalities if required, prior to the creation of these lots;
2. The proposed non-farm residential lot shall not exceed 3.2-acres in area unless the lot is successfully rezoned out of the A-1 Prime Agricultural Zoning District;
3. Only one single family residential unit may be located on the proposed non-farm residential lot unless this lot is successfully rezoned into a zoning district which allows additional residential units;
4. The acreage of the proposed non-farm residential lot shall count towards the total non-farm residential acreage that can be created from the base farm tract for this property;
5. A "Notice of Zoning Limitations" document shall be recorded with the Dodge County Register of Deeds Office for the following parcels which make up the "base farm tract" which notifies the potential buyers of these parcels that there may be limitations as to the number of new lots that can be created from this base farm tract:
  - 034-1115-3312-000; 034-1115-3311-000;

6. The owner and subsequent owners of this non-farm residential lot hereby agree to comply with Subsection 9.2, Right to Farm provisions of the Dodge County Land Use Code and that they will not cause unnecessary interference with adjoining farming operations producing agricultural products and using generally accepted agricultural practices, including access to active farming operations;
7. The decision of the Committee is valid for one year.

Second by Janice Bobholz    Vote 5-0        Motion carried.

**PUBLIC HEARING**

**Karl Green, agent for Xtra Storage / The Space Store, LLC** - Request to rezone approximately 7.7-acres of land from the A-2 General Agricultural Zoning District to the C-2 Extensive Commercial Zoning District and an application for a Conditional Use Permit under the Land Use Code, Dodge County, Wisconsin to allow for the establishment of a propane distribution facility on this site and to bring the existing self-service storage facilities into compliance with the Code. The site is located in part of the E 1/2 of the NE ¼, Section 8, Town of Elba, the site address being N4400 State Road 73.

Rezoning Petition

Motion by Joseph Marsik to submit a favorable recommendation to the County Board of Supervisors to rezone approximately 7.7-acres of land from the A-2 General Agricultural Zoning District to the C-2 Extensive Commercial Zoning District.

Second by Allen Behl                    Vote 5-0        Motion carried.

Conditional Use Permit Request

Motion by Bill Muche to approve the conditional use permit request to allow for the establishment of a propane distribution facility on this site and to bring the existing self-service storage facilities into compliance with the Code subject to the following conditions:

1. The County Rezoning petition shall be approved by the County Board of Supervisors prior to the issuance of the conditional use permit and land use permits for these facilities.
2. The business operation shall be conducted without offensive noise, vibration, dust, smoke, odor, glare, lighting or the risk of fire, explosion or other accident and shall not be detrimental to the public health and safety or general welfare of the immediate neighborhood or community.
3. It shall be the responsibility of the applicant to obtain all Federal, State and/or local municipality permits and approvals that may be required for the establishment and operation of the proposed propane distribution facility on this site.
4. The propane tank facility shall be located in compliance with all applicable Federal, State and/or local municipality regulations.
5. A County land use permit shall be obtained for the propane distribution facility prior to the location/construction of the propane tank, fence and lighting on this site.
6. A County land use permit shall be obtained for the construction of any self-service storage units on this site prior to the construction of said units.
7. All exterior lighting shall meet the functional and security needs of the proposed development without adversely affecting adjacent properties.
8. All hazardous wastes used or generated in the operation of the proposed propane

business shall be handled, stored and disposed of in accord with the applicable regulations.

9. There shall be no storage of hazardous wastes within the self-service storage facilities.
10. Any significant change to or expansion of the propane distribution or self-service storage facility business operations may require that a new Conditional Use Permit be obtained.
11. The decision of the Committee is valid for one year.

Second by Janice Bobholz    Vote 5-0        Motion carried.

### **OTHER BUSINESS**

1. The minutes from the October 16, 2017 meeting were reviewed by the Committee.

Motion by Joseph Marsik to approve the minutes as written.

Second by Bill Muche    Vote: 5-0        Motion carried.

2. Committee Member Reports

Joseph Marsik reported on action that was taken by the Highway Committee and the Executive Board regarding proposed legislation that would allow wireless carriers to place their equipment in the County road right-of-ways without permits or approvals. The Highway Committee and the Executive Board voted not to support this legislation.

3. No additional Per Diems.

### **ADMINISTRATIVE BUSINESS**

#### **PARK SYSTEM**

1. Consider, discuss and take action on construction bids for Gold Star Memorial Trail.  
Bill Ehlenbeck indicated that there was no additional significant information to report at this time. Still have a funding gap of approximately \$240,000. The Gold Star Trail citizens group is still seeking out additional donations and still reviewing options to reduce the cost of the project. Bill is seeking information on the DOT TAP grant as an option for sufficient funding, but would put at least a 1 to 2 year delay on the project. Bill is also planning to request additional DNR grant funds in 2018. The current bid is good for 60-days, however Bill talked with the contractor and he stated he would be willing to extend the period if needed. No action to take at this time.
2. Consider, discuss and take action on an Addendum to the DOT Maintenance Agreement for Gold Star Memorial Trail.  
Bill Ehlenbeck stated he is still working with DOT on the corrections and final wording for the document. No action to take at this time.
3. Consider, discuss and take action of Harnischfeger Park Homestead demolition and repurpose conceptual plan.

Bill reminded the committee that \$20,000 was budgeted for 2018 to demolish the old homestead at Harnischfeger Park. Bill reported that a meeting was held with the neighbors and others interested to inform them of the removal plan. Bill relayed that there was continued interest from the group, consistent with previous meetings and the

Master Plan survey, to preserve some architectural elements of the building if possible, rather than completely demolish the building. Participants of the meeting proposed an idea to save the front façade of the home and to construct a shelter or gazebo behind it within the footprint of the old home to turn the area into a unique useable public space. The proposal included interpretive displays, accessible path to the parking lot, reconstruction of the fireplace with salvaged bricks and either sale or reuse of the salvaged brick. A preliminary estimate of \$30,000 to remove the building and to save the wall was provided. An additional \$30,000 is estimated to construct the shelter and install a pathway. One option to fund this project was to amend the proposed 2018 budget by reallocating the \$40,000 sales tax funding for Neosho Highway Shop debt service to this project. The Committee discussed the benefits and long term maintenance and safety concerns of a project of this nature. The committee directed staff to develop a more detailed design proposal with cost estimates and present to the Committee at a later date for consideration.

#### 4. Parks report

Bill provided the committee with revenue reports for the department. Both code and parks revenues are significantly higher than last year and well above budgeted amounts with almost 2 months remaining in the year. The revenues for Land use and Conditional Use Permits, rezoning, Board of Adjustment and Astico Park camping and firewood are the primary items with the largest increases over budgeted amounts

Motion by order of the chair to adjourn the meeting.

Meeting adjourned at 8:25 p.m.

Respectfully Submitted,

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Allen Behl, Secretary

Disclaimer: The above minutes may be approved, amended or corrected at the next committee meeting.